



PROCUREMENT DEPARTMENT

Teria G. Sheffield
Procurement Director

ADDENDUM # 1

Date: 7/19/2023

PROPOSAL ID #2882

IFB #2882
Improvements to Ebenezer Park Phase II

THE FOLLOWING INFORMATION SHALL BE INCORPORATED AS PART OF THE ABOVE MENTIONED SOLICITATION; ALL OTHER TERMS AND CONDITIONS SHALL REMAIN THE SAME.

Addendum 01

July 19, 2023

subject: Addendum No. 01
Improvements to Ebenezer Park Phase II
Rock Hill, South Carolina
ADC Project No. 21435

This addendum consists of [49] pages with additional attachments.

A. NOTICE TO BIDDERS

1. This Addendum is issued pursuant to the Conditions of the Contract and is hereby made part of the Bid Documents, dated **06/06/2023**. The addendum serves to clarify, revise, and supersede information in the Project Manual, the Drawings and previously issued Addenda. The Bidder shall acknowledge receipt of this Addendum in the appropriate space on the Bid Form. Failure to do so may subject the Bidder to disqualification.
2. PRE-BID CONFERENCE: An optional Pre-Bid Conference was held at Ebenezer Park on July 11, 2023 at 11 AM.
3. SUBSTITUTIONS: All requests for substitutions must be received no later than **4 PM on July 20, 2023**. Proof of equality of substitutions is the responsibility of the proposer. The A/E's decision to approve or disapprove the requested substitution shall be final.
4. All questions must be received by **4 PM on July 20, 2023**, or may not be answered. No verbal interpretation made to any Bidder as to the meaning or consequence of any portion of the Bid Documents shall be considered binding.
5. All Bids will be received by York County until **11 AM on Wednesday, July 26, 2023**. Any bid received after the scheduled time for receipt will be returned to the Bidder unopened.
 - a. The date for receipt of bids for this project is unchanged by this Addendum.

B. MODIFICATIONS TO PREVIOUS ADDENDA

1. No modifications.

C. APPROVED SUBSTITUTION REQUESTS

1. Accepted – Mapei as an approved acrylic sport court coating manufacturer in Calhoun Georgia; contact Darren Clare @ (475) 470-6769 or email DClare@mapei.com.
2. Accepted - AIR-SHIELD™ LMP Liquid Membrane Vapor Permeable Air Barrier by W.R. Meadows Inc.; contact Jack Martell @ (980) 253-0771 or Taylor Wodzinski @ (847) 214-2100.
3. Accepted – Elite Lighting as an approved track lighting manufacturer.

D. MODIFICATIONS TO PROCUREMENT REQUIREMENTS

1. No modifications.



E. MODIFICATIONS TO CONTRACT REQUIREMENTS

1. Revised Bid form to add Alternate #2.
 - a. Alternate #2 will include 2" asphalt mill and overlay of Boatshore Road from park sign (end of base bid mill and overlay) to Mt. Gallant Road. Install IAW Detail E/L402 and F/L402. Restripe Overlay to Match Existing.
 - b. The total approximate length is 1760 LF and is approximately 20 feet wide. Approximate square yards of 3880 SY including intersection flare at Mt. Gallant. Contractor to verify all measurements.
 - c. This section of Boatshore Drive also includes 2 speed tables that will need to be included in this alternate pricing.

F. MODIFICATIONS TO SUPPLEMENTAL CONTRACTING REQUIREMENTS

1. No modifications.

G. MODIFICATIONS TO GENERAL PROVISIONS

1. No modifications.

H. MODIFICATIONS TO SPECIAL PROVISIONS


1. No modifications.


I. MODIFICATIONS TO TECHNICAL SPECIFICATIONS


1. No modifications.


J. MODIFICATIONS TO DRAWINGS

1. Cover Sheet (replace sheet)
 - a. Updated ADC Drawing List to show corrected sheet revision dates.
2. L001 – Notes & Abbreviations (replace sheet)
 - a. Updated York County Professional's Certification and Applicant's Certification.
 - b. New Special Flood Hazard Area Notes added to sheet.
3. L101 – Demolition Plan – Area 1 (replace sheet)
 - a. Added Keynote (18) "Remove Existing Playground & Bench" to sheet.
 - b. New Special Flood Hazard Area Notes added to sheet.
4. L102 - Demolition Plan – Area 2 (replace sheet)
 - a. New Special Flood Hazard Area Notes added to sheet.
5. L103 - Demolition Plan – Area 3 (replace sheet)
 - a. New Special Flood Hazard Area Notes added to sheet.
6. L104 – Tree Protection Plan – Area 1 (replace sheet)

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- a. Erosion control fencing adjusted for the demolition of existing Play Area.
 - b. New Special Flood Hazard Area Notes added to sheet.
 7. L105 - Tree Protection Plan – Area 2 (replace sheet)
 - a. New Special Flood Hazard Area Notes added to sheet.
 8. L106 - Tree Protection Plan – Area 3 (replace sheet)
 - a. New Special Flood Hazard Area Notes added to sheet.
 9. L201 – Site Plan – Area 1 (replace sheet)
 - a. Revised Keynote (28) to say “INSTALL CHAINLINK FENCE IAW DETAIL A/L406. CORE DRILL FENCE POSTS INTO ASPHALT 1' INSIDE ASPHALT EDGE. SAW CUT ASPHALT EDGE FOR A CLEAN LINE 10 INCHES FROM FENCE LINE.”
 - b. Added Keynote (31) “INSTALL RETAINING WALL HANDRAIL IAW DETAIL G/L406”.
This keynote is not used in this drawing.
 - c. New Special Flood Hazard Area Notes added to sheet.
 10. L202 - Site Plan – Area 2 (replace sheet)
 - a. Added Keynote (31) “INSTALL RETAINING WALL HANDRAIL IAW DETAIL G/L406”.
 - b. New Special Flood Hazard Area Notes added to sheet.
 11. L203 - Site Plan – Area 3 (replace sheet)
 - a. Added Keynote (31) “INSTALL RETAINING WALL HANDRAIL IAW DETAIL G/L406”.
 - b. New Special Flood Hazard Area Notes added to sheet.
 12. L301 – Landscape Planting Plan #1 (replace sheet)
 - a. Updated SOD2 square footage between restroom building and lake.
 - b. New Special Flood Hazard Area Notes added to sheet.
 13. L302 - Landscape Planting Plan #2 (replace sheet)
 - a. Updated Mulch square footage along campground driveway.
 - b. New Special Flood Hazard Area Notes added to sheet.
 14. L303 - Landscape Planting Plan #3 (replace sheet)
 - a. Additional landscape buffer plantings along the southwest property line.
 - b. New Special Flood Hazard Area Notes added to sheet.
 15. L401 – Landscape Planting Details, Schedule, & Notes (replace sheet)
 - a. Updated Landscape Planting Schedule to include revised planting quantities.
 16. L406 – Site Details (replace sheet)
 - a. Detail C – Timber Retaining Wall - Adjusted upright timber concrete footer to 48” deep and 24” width. Thru-Bolts moved to every 3 courses instead of top and bottom courses. Timber Uprights adjusted from being located at 8’ on center to 4’ on center and at corners.

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- b. Detail G - New Retaining Wall Handrail added to site details.
17. C301 – Grading and Storm Drainage Plan – Area 1 (replace sheet)
 - a. Revised grading around the new restroom and concession buildings and picnic areas.
 - b. Added spot elevations around existing drainage structures to improve drainage.
 - c. New Special Flood Hazard Area Notes added to sheet.
 18. C302 - Grading and Storm Drainage Plan – Area 2 (replace sheet)
 - a. Addition of swale reinforced with permanent rip rap leading to DI H1.
 - b. Minor grading adjustments within the campgrounds.
 - c. Timber retaining wall at spot 36 has been reduced.
 - d. New Special Flood Hazard Area Notes added to sheet.
 19. C303 - Grading and Storm Drainage Plan – Area 3 (replace sheet)
 - a. Storm line E has been extended to reduce steep slopes on edge of drive.
 - b. Addition of Storm line I, connecting to the existing 15” storm drain, near dumpster pad.
 - c. Addition of swale to capture and direct water around the dumpster pad.
 - d. Minor grading adjustments throughout camp sites 65-67.
 - e. New Special Flood Hazard Area Notes added to sheet.
 20. C310 – Storm Drainage Profiles (replace sheet)
 - a. Minor surface adjustments of FG in STRM E and STRM A profiles.
 - b. Addition of STRM I profile.
 21. C320 – Drainage Area Plan (replace sheet)
 - a. Pre and Post Development Calculations modified.
 22. C401 – Utility Plan – Area 1 (replace sheet)
 - a. New Special Flood Hazard Area Notes added to sheet.
 23. C402 - Utility Plan – Area 2 (replace sheet)
 - a. Added a water valve for the primitive camping water service.
 - b. New Special Flood Hazard Area Notes added to sheet.
 24. C403 – Utility Plan – Area 3 (replace sheet)
 - a. New Special Flood Hazard Area Notes added to sheet.
 25. C630 – Civil Details – Storm Drainage (replace sheet)
 - a. SCDOT standard drawing reference note for manhole step spacing.
 26. C711 – Erosion Control Plan – Initial Phase – Area 1 (replace sheet)
 - a. Concrete washout moved within limits of disturbance and added to initial phase.
 - b. New Special Flood Hazard Area Notes added to sheet.

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27. C712 - Erosion Control Plan – Initial Phase – Area 2 (replace sheet)
 - a. Concrete washout added to initial phase.
 - b. New Special Flood Hazard Area Notes added to sheet.
 28. C713 - Erosion Control Plan – Initial Phase – Area 3 (replace sheet)
 - a. Concrete washout added to initial phase.
 - b. New Special Flood Hazard Area Notes added to sheet.
 29. C721 - Erosion Control Plan – Construction Phase – Area 1 (replace sheet)
 - a. Stabilization phase from last submittal is now construction phase. Change of sequence of construction.
 - b. New Special Flood Hazard Area Notes added to sheet.
 30. C722 - Erosion Control Plan – Construction Phase – Area 2 (replace sheet)
 - a. Stabilization phase from last submittal is now construction phase. Change of sequence of construction.
 - b. New Special Flood Hazard Area Notes added to sheet.
 31. C723 - Erosion Control Plan – Construction Phase – Area 3 (replace sheet)
 - a. Stabilization phase from last submittal is now construction phase. Change of sequence of construction.
 - b. New Special Flood Hazard Area Notes added to sheet.
 32. C731 - Erosion Control Plan – Stabilization Phase – Area 1 (add sheet)
 - a. Additional phase with permanent seeding and change of sequence of construction.
 - b. New Special Flood Hazard Area Notes added to sheet.
 33. C732 - Erosion Control Plan – Stabilization Phase – Area 2 (add sheet)
 - a. Additional phase with permanent seeding and change of sequence of construction.
 - b. New Special Flood Hazard Area Notes added to sheet.
 34. C733 - Erosion Control Plan – Stabilization Phase – Area 3 (add sheet)
 - a. Additional phase with permanent seeding and change of sequence of construction.
 - b. New Special Flood Hazard Area Notes added to sheet.
 35. A101 – Floor Plan – Lake Building (replace sheet)
 - a. Paper Towel Dispenser (PTD) changed to Electric Hand Dryer (EHD) in rooms 102, 104, 105, 106, 107, 108, 109, 110, and 111.
 36. A102 – Floor Plan – Campground Building (replace sheet)
 - a. Paper Towel Dispenser (PTD) changed to Electric Hand Dryer (EHD) in rooms 202, 203, 204, 206, 207, and 208.

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37. E001 – Electrical Symbol Legend (replace sheet)
 - a. Power circuits have been added to each toilet for electrical hand dryers.
 38. E201 – Electrical Lighting & Power Plan – Lake Building (replace sheet)
 - a. Power circuits have been added to each toilet for electrical hand dryers.
 39. E202 – Electrical Lighting & Power Plan – Campground Building (replace sheet)
 - a. Power circuits have been added to each toilet for electrical hand dryers.

K. ATTACHMENTS

1. Revised Bid Form dated 07/14/2023.
2. 21435.Ebenezer Park Phase II – Addendum #1 revised drawings for drawings revisions that include a total of **43** sheets.

END OF ADDENDUM NO. 1

BID FORM

Improvements to Ebenezer Park Phase II

Submitted: _____, 20____

York County Government
6 South Congress Street
York, SC 29745

Sir or Madam:

The undersigned, as Bidder, hereby declares that the only person or persons interested in the Bid, as principal or principals, is or are named herein and that no other person than herein mentioned has any interest in the Bid of the Contract to which the work pertains; that this Bid is made without connection or arrangement with any other person, company, or parties making a bid or proposal and that the Bid is in all respects fair and made in good faith without collusion or fraud.

The Bidder further declares that he has examined the site of the Work and, through personal knowledge and experience and/or subsurface investigations, has fully satisfied himself in regard to all conditions pertaining to such site and he assumes full responsibility therefore; that he has examined the Drawings and Specifications for the Work and from his own experience or from professional advice that the Drawings and Specifications are sufficient for the Work to be done; that he has examined the other Contract Documents and all addenda relating thereto, and that he has satisfied himself fully, relative to all matters and conditions with respect to the Work to which this Bid pertains.

The Bidder proposes and agrees, if this Proposal is accepted, to contract with York County Government (OWNER) in the form of contract specified, to furnish all necessary materials, equipment, machinery, tools, apparatus, transportation, and labor and to perform all work necessary to complete the Work specified in the Bid and other Contract Documents.

The Bidder further proposes and agrees to commence substantial work on this project within 15 days of a Notice to Proceed and agrees that the Work will be completed and ready for final payment **within 288 calendar days** of the Notice to Proceed. Anticipated Notice to Proceed date will commence on September 15, 2023, and shall be completed by June 28, 2024.

The Bidder further agrees that the deductions for liquidated damages, as stated in the Agreement and General Conditions, constitute fixed, agreed, and liquidated damages to reimburse the OWNER for additional costs to the OWNER resulting from the Work not being completed within the time limit stated in the Contract Form. The liquidated damages shall be \$100.00 for each consecutive calendar day thereafter.

The Bidder further agrees to execute a Contract and furnish satisfactory Performance and Indemnity and Payment Bonds, and the required Certificates of Insurance, within ten consecutive calendar days after receipt of Notice of Award of the Contract, and the undersigned agrees that in case of failure on his part to execute the said Contract and Performance and Indemnity and Payment Bonds within the ten (10) consecutive calendar days after the award of the Contract, the Bid guarantee accompanying his Bid and the money payable thereon shall be paid to the OWNER as liquidation of damages sustained by the OWNER; otherwise, the Bid guarantee shall be returned to the undersigned after the Contract is signed and the Performance and Indemnity and Payment Bonds are filed.

BASE BID-LUMP SUM:

Single-Prime Contract: The undersigned Bidder, having carefully examined the Procurement and Contracting Requirements, Conditions of the Contract, Drawings, Specifications, and all subsequent Addenda, as prepared by ADC Engineering, Inc., having visited the site, and being familiar with all conditions and requirements of the Work, hereby agrees to furnish all material, labor, equipment, services, tools of trades and labor, fees, taxes, insurance, bonding, overhead, profit, etc., according to the requirements of the Procurement and Contracting Documents, for the stipulated sum of:

BASE BID

\$ _____ Dollars (\$ _____)

In writing

ALTERNATES

Alternate 1: Sod Near Lake

- The alternate will include sodding areas as shown as SOD2 on Sheet L301.

\$ _____ Dollars (\$ _____)

In writing

Alternate 2: Asphalt Mill and Overlay remainder of Boatshore Road

- This alternate will include 2" asphalt mill and overlay of Boatshore Road from park sign (end of base bid mill and overlay) to Mt. Gallant Road. Install IAW Detail E/L402 and F/L402. Restripe Overlay to Match Existing.
- The total approximate length is 1760 LF and is approximately 20 feet wide. Approximate square yards of 3880 SY including intersection flare at Mt. Gallant. Contractor to verify all measurements.
- This section of Boatshore Drive also includes 2 speed tables that will need to be included in this alternate pricing.

\$ _____ Dollars (\$ _____)

In writing

Total Bid and Alternates: The total sum of Base Bid and Alternates

\$ _____ Dollars (\$ _____)

In writing

SCHEDULE OF UNIT PRICES

- A. Unit Price No. 1: Removal of unsuitable material and replacement with controlled fill.

_____ Dollars (\$ _____) per CY

1. Description: Removal of unsuitable soil excavation and disposal off site and replacement with controlled fill material from off-site, as required, according to Section 312000 "Earth Moving."
2. Unit of Measurement: Cubic yard of soil excavated, based on survey of volume removed.

- B. Unit Price No. 2: Removal and replacement of heavy-duty asphalt pavement

_____ Dollars (\$ _____) per SY

1. Description: Removal of cracking or failing asphalt pavement and aggregate base course and replacement with heavy-duty asphalt pavement in accordance to Section 321216 Asphalt Paving.

2. Unit of Measurement: Square yard of pavement removed.

C. Unit Price No. 3: Removal and replacement of standard-duty asphalt pavement.

_____ Dollars (\$ _____) per SY

- 1. Description: Removal of cracking or failing asphalt pavement and aggregate base course and replacement with standard-duty asphalt pavement in accordance to Section 321216 Asphalt Paving.
- 2. Unit of Measurement: Square yard of pavement removed.

Acknowledgement is hereby made of the following Addenda received since issuance of the Bid Documents:

Addendum No. _____	Dated: _____
Addendum No. _____	Dated: _____
Addendum No. _____	Dated: _____

Note:

All work performed by the Contractor as essential to the completion of the intent of the Contract Documents shall be paid in accordance with the Bid Schedule. No direct payment will be made for work performed which is not shown as a separate Bid Item. The undersigned proposes the following unit prices to be utilized on the Work or Extra Work should modifications or variations incorporate these items of work into the Work.

Bid Form

Improvements to Ebenezer Park Phase II

Base Bid List

(The base bid of this bid document shall include all costs including alternates in a Lump Sum Amount for the items)

Insert Bid for

TOTAL BASE BID (SINGLE-PRIME) \$ _____

Total (use words) _____

TOTAL ALTERNATES (if accepted) \$ _____

Total (use words) _____

TOTAL BASE BID WITH ALTERNATES \$ _____

Total (use words) _____

Attached hereto is a cashier's check on the _____ Bank of _____ or Bid Bond for the sum of _____ Dollars (_____), made payable to _____ (Owner).

_____ L.S.
(Name of Bidder) (Affix Seal)

_____ L.S.
(Signature of Officer)

_____ L.S.
(Title of Officer)

Address:

P.O. Box _____ Street: _____

City: _____ State, Zip Code: _____

Telephone: _____ Fax: _____

Federal ID#: _____

Email address: _____

Contractor License type: _____ Contractor License number: _____

License status: _____ Expiration: _____

Classification: _____

The full names and residences of persons and firms interested in the foregoing bid, as principals, are as follows:

Name of the executive who will give personal attention to the work:

Attach list of subcontractors as required by Article 13.4 of Information to Bidders.

END OF SECTION 004100

EBENEZER PARK PHASE II

ROCK HILL, SOUTH CAROLINA
YORK COUNTY



OWNER
YORK COUNTY

6 S Congress Street
York, SC 29745
PH: 803-818-5783

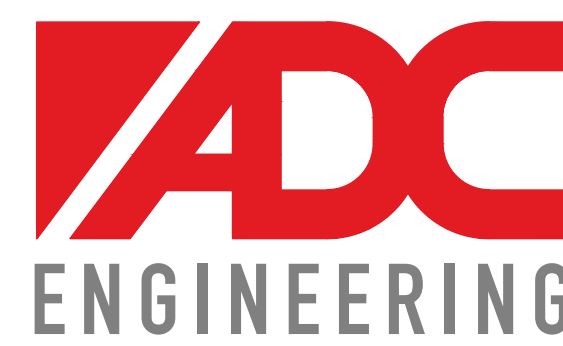
CONTACT: RON POMPEY



ARCHITECTURE
CRAIG, GAULDEN DAVIS

19 Washington Park
Greenville, SC 29601
864.242.0761

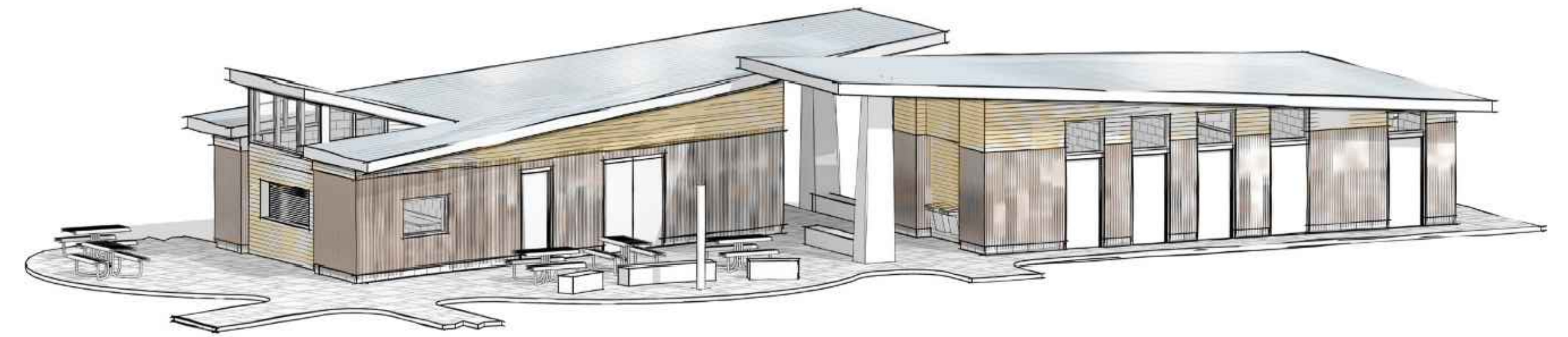
CONTACT: CHARLES GUNNING



LANDSCAPE ARCHITECTURE,
CIVIL AND STRUCTURAL ENGINEERING
ADC ENGINEERING INC.

25 Woods Lake Road, Suite 210
Greenville, SC 29607
864.751.9121

CONTACT: FRED GUTHIER



NEW LAKESIDE RESTROOM, SHOWER, & CONCESSIONS BUILDINGS

DRAWING LIST- LANDSCAPE ARCHITECTURE & CIVIL (ADC ENGINEERING)

SHEET	TITLE	ISSUED	REVISED
L001	NOTES & ABBREVIATIONS	03/09/23	07/14/23
SURVEY	SURVEY (1 OF 3)	03/09/23	
SURVEY	SURVEY (2 OF 3)	03/09/23	
SURVEY	SURVEY (3 OF 3)	03/09/23	
L101	DEMOLITION PLAN - AREA 1	03/09/23	07/14/23
L102	DEMOLITION PLAN - AREA 2	03/09/23	07/14/23
L103	DEMOLITION PLAN - AREA 3	03/09/23	07/14/23
L104	TREE PROTECTION PLAN - AREA 1	03/09/23	07/14/23
L105	TREE PROTECTION PLAN - AREA 2	03/09/23	07/14/23
L106	TREE PROTECTION PLAN - AREA 3	03/09/23	07/14/23
L201	SITE PLAN - AREA 1	03/09/23	07/14/23
L202	SITE PLAN - AREA 2	03/09/23	07/14/23
L203	SITE PLAN - AREA 3	03/09/23	07/14/23
L301	LANDSCAPE PLANTING PLAN #1	03/09/23	07/14/23
L302	LANDSCAPE PLANTING PLAN #2	03/09/23	07/14/23
L303	LANDSCAPE PLANTING PLAN #3	03/09/23	07/14/23
L401	LANDSCAPE PLANTING DETAILS, SCHEDULE, & NOTES	03/09/23	07/14/23
L402	SITE DETAILS	03/09/23	
L403	SITE DETAILS	03/09/23	06/06/23
L404	SITE DETAILS	03/09/23	
L405	SITE DETAILS	03/09/23	06/06/23
L406	SITE DETAILS	06/06/23	07/14/23
C301	GRADING AND STORM DRAINAGE PLAN - AREA 1	03/09/23	07/14/23
C302	GRADING AND STORM DRAINAGE PLAN - AREA 2	03/09/23	07/14/23
C303	GRADING AND STORM DRAINAGE PLAN - AREA 3	03/09/23	07/14/23
C310	STORM DRAINAGE PROFILES	03/09/23	07/14/23
C320	DRAINAGE AREA PLAN	03/09/23	07/14/23
C401	UTILITY PLAN - AREA 1	03/09/23	07/14/23
C402	UTILITY PLAN - AREA 2	03/09/23	07/14/23
C403	UTILITY PLAN - AREA 3	03/09/23	07/14/23
C630	CIVIL DETAILS - STORM DRAINAGE	03/09/23	07/14/23
C631	CIVIL DETAILS - STORM DRAINAGE	03/09/23	06/06/23
C640	CIVIL DETAILS - UTILITY	03/09/23	06/06/23
C641	CIVIL DETAILS - UTILITY	03/09/23	06/06/23
C711	EROSION CONTROL PLAN - INITIAL PHASE - AREA 1	03/09/23	07/14/23
C712	EROSION CONTROL PLAN - INITIAL PHASE - AREA 2	03/09/23	07/14/23
C713	EROSION CONTROL PLAN - INITIAL PHASE - AREA 3	03/09/23	07/14/23
C721	EROSION CONTROL PLAN - CONSTRUCTION PHASE - AREA 1	03/09/23	07/14/23
C722	EROSION CONTROL PLAN - CONSTRUCTION PHASE - AREA 2	03/09/23	07/14/23
C723	EROSION CONTROL PLAN - CONSTRUCTION PHASE - AREA 3	03/09/23	07/14/23
C731	EROSION CONTROL PLAN - STABILIZATION PHASE - AREA 1	07/14/23	
C732	EROSION CONTROL PLAN - STABILIZATION PHASE - AREA 2	07/14/23	
C733	EROSION CONTROL PLAN - STABILIZATION PHASE - AREA 3	07/14/23	
C740	CIVIL DETAILS - EROSION CONTROL	03/09/23	06/06/23
C741	CIVIL DETAILS - EROSION CONTROL	03/09/23	

DRAWING LIST- ARCHITECTURE (CRAIG, GAULDEN, DAVIS)

SHEET	TITLE	ISSUED	REVISED
LS101	LIFE SAFETY PLAN	03/09/23	
G101	GENERAL NOTES AND LEGENDS	03/09/23	06/06/23
G102	ACCESSIBILITY STANDARDS	03/09/23	
A101	FLOOR PLAN - LAKE BUILDING	03/09/23	07/14/23
A102	FLOOR PLAN - CAMPGROUND BUILDING	03/09/23	07/14/23
A110	PLAN DETAILS	03/09/23	
A201	WALL TYPES	03/09/23	
A301	EXTERIOR ELEVATIONS - LAKE BUILDING	03/09/23	
A302	EXTERIOR ELEVATIONS - CAMPGROUND	03/09/23	
A401	BUILDING SECTIONS - LAKE BUILDING	03/09/23	
A402	BUILDING SECTIONS - CAMPGROUND BUILDING	03/09/23	
A501	WALL SECTIONS & DETAILS	03/09/23	
A502	WALL SECTIONS & DETAILS	03/09/23	
A503	WALL SECTIONS & DETAILS	03/09/23	
A601	REFLECTED CEILING & ROOF PLAN - LAKE BUILDING	03/09/23	
A602	REFLECTED CEILING & ROOF PLAN - CAMPGROUND BUILDING	03/09/23	
A603	ROOF DETAILS	03/09/23	
A701	FINISH SCHEDULE, PLANS, MILLWORK ELEVATIONS & DETAILS	03/09/23	

DRAWING LIST- STRUCTURAL (ADC ENGINEERING)

SHEET	TITLE	ISSUED	REVISED
S001	GENERAL NOTES	03/09/23	
S101	FOUNDATION AND SLAB PLANS - LAKE BUILDINGS	03/09/23	06/06/23
S102	FOUNDATION AND SLAB PLANS - CAMPGROUND	03/09/23	06/06/23
S111	CMU AND LINTEL PLAN - LAKE BUILDINGS	03/09/23	06/06/23
S112	CMU AND LINTEL PLAN - CAMPGROUND	03/09/23	06/06/23
S121	ROOF FRAMING PLAN - LAKE BUILDINGS	03/09/23	06/06/23
S122	ROOF FRAMING PLAN - CAMPGROUND	03/09/23	06/06/23
S210	TYPICAL CONCRETE DETAILS	03/09/23	
S211	TYPICAL CONCRETE DETAILS	03/09/23	
S220	TYPICAL MASONRY DETAILS	03/09/23	06/06/23
S221	TYPICAL MASONRY DETAILS	03/09/23	06/06/23
S230	TYPICAL STEEL DETAILS	03/09/23	06/06/23
S270	TYPICAL WOOD DETAILS	03/09/23	
S301	SECTIONS AND DETAILS	03/09/23	06/06/23
S401	SECTIONS AND DETAILS	03/09/23	06/06/23
S402	SECTIONS AND DETAILS	03/09/23	06/06/23
S403	SECTIONS AND DETAILS	03/09/23	06/06/23

DRAWING LIST- ELECTRICAL (BURDETTE ENGINEERING)

SHEET	TITLE	ISSUED	REVISED
E001	ELECTRICAL SYMBOL LEGEND	03/09/23	07/14/23
E002	ELECTRICAL DETAILS AND SCHEDULES	03/09/23	06/06/23
E100	ELECTRICAL OVERALL SITE PLAN	03/09/23	06/06/23
E101	ELECTRICAL SITE PLAN - AREA 1	03/09/23	06/06/23
E102	ELECTRICAL SITE PLAN - AREA 2	03/09/23	06/06/23
E103	ELECTRICAL SITE PLAN - AREA 3	03/09/23	06/06/23
E201	ELECTRICAL LIGHTING & POWER PLAN - LAKE BUILDING	03/09/23	07/14/23
E202	ELECTRICAL LIGHTING & POWER PLAN - CAMPGROUND BUILDING	03/09/23	07/14/23

DRAWING LIST- HVAC (STEPHENS ENGINEERING & CONSULTING, LLC)

SHEET	TITLE	ISSUED	REVISED
M001	HVAC SCHEDULES	03/09/23	06/06/23
M101	HVAC PLAN	03/09/23	06/06/23
M102	HVAC PIPING PLANS	03/09/23	06/06/23

DRAWING LIST- PLUMBING (STEPHENS ENGINEERING & CONSULTING, LLC)

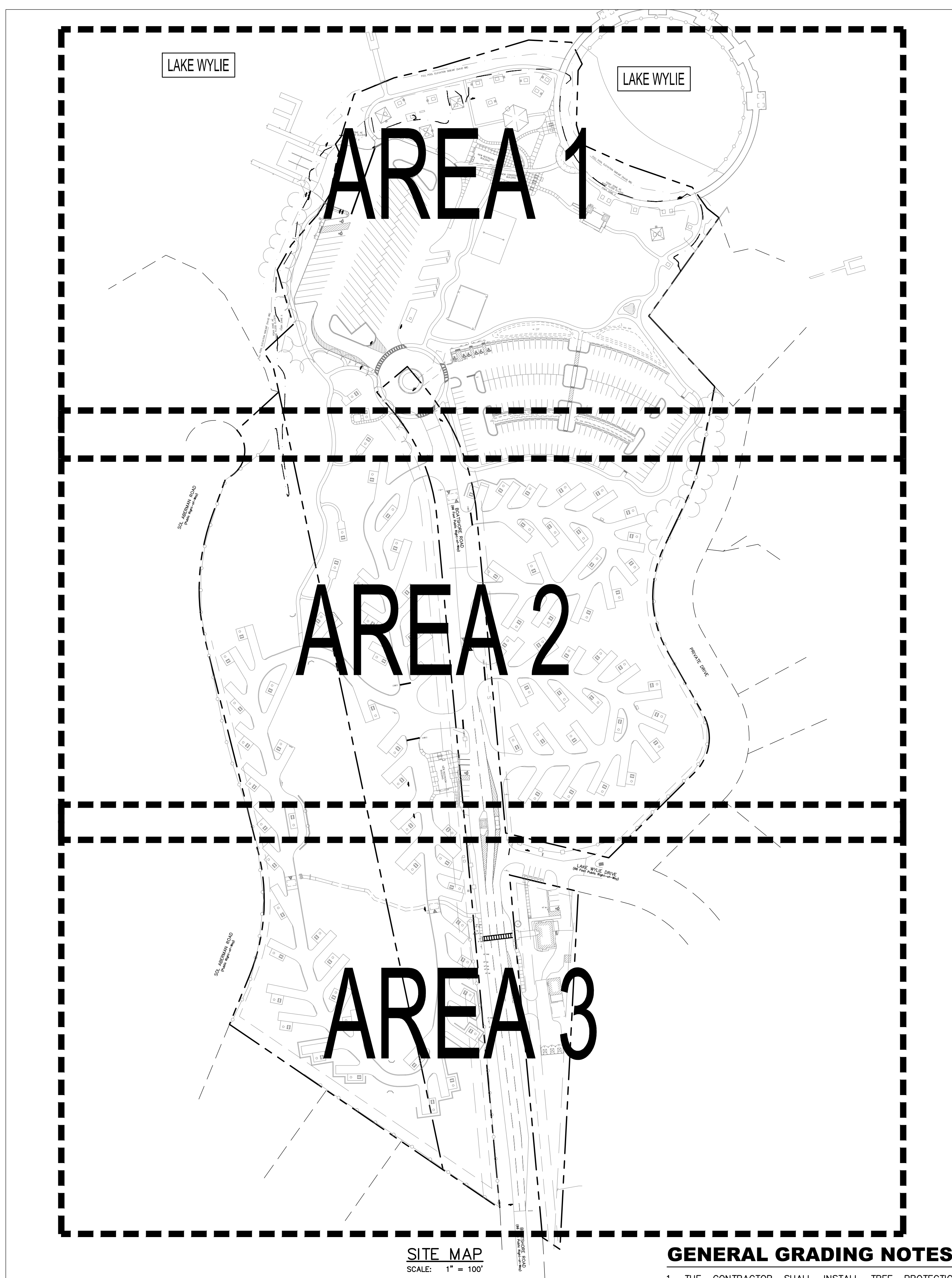
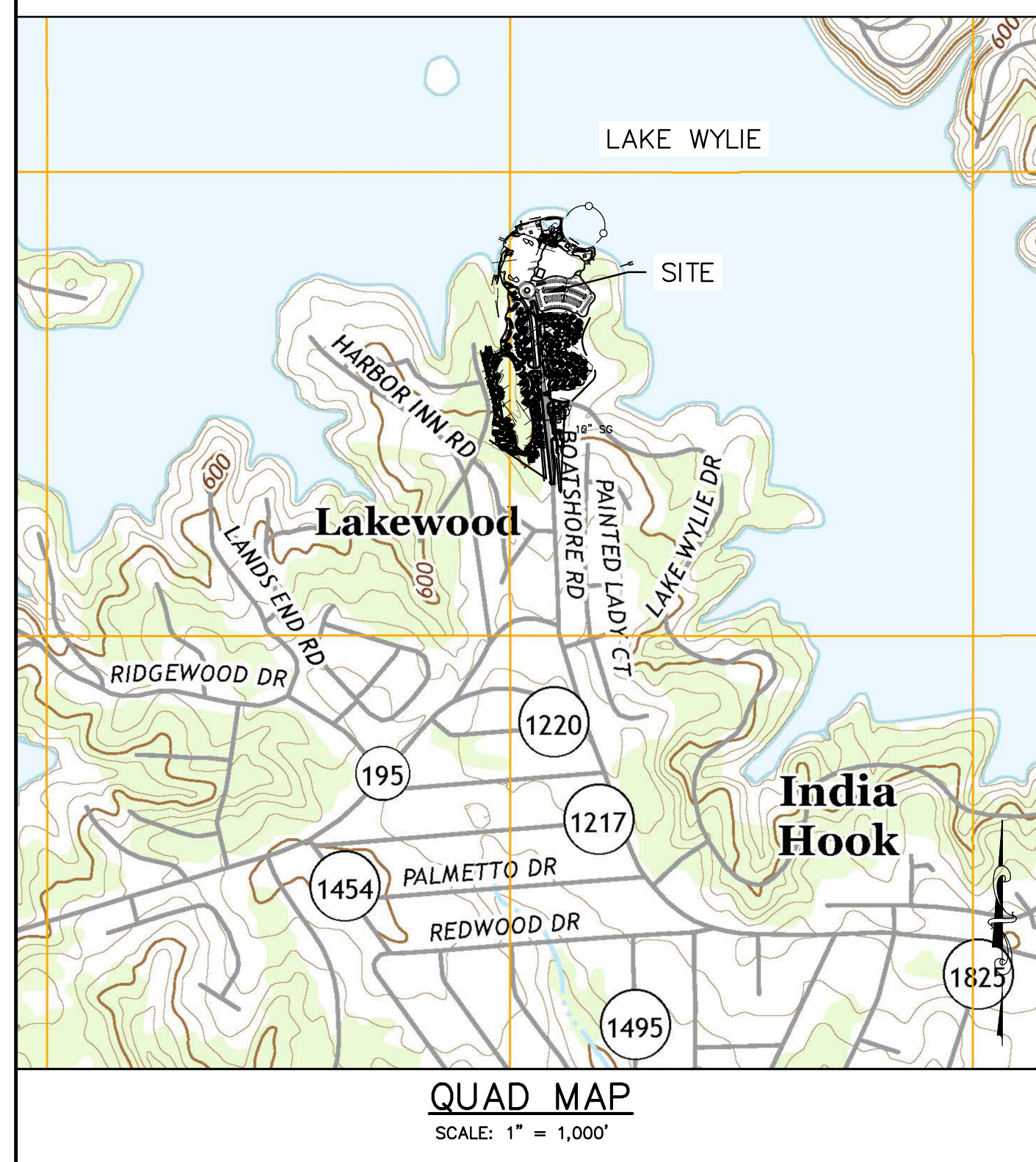
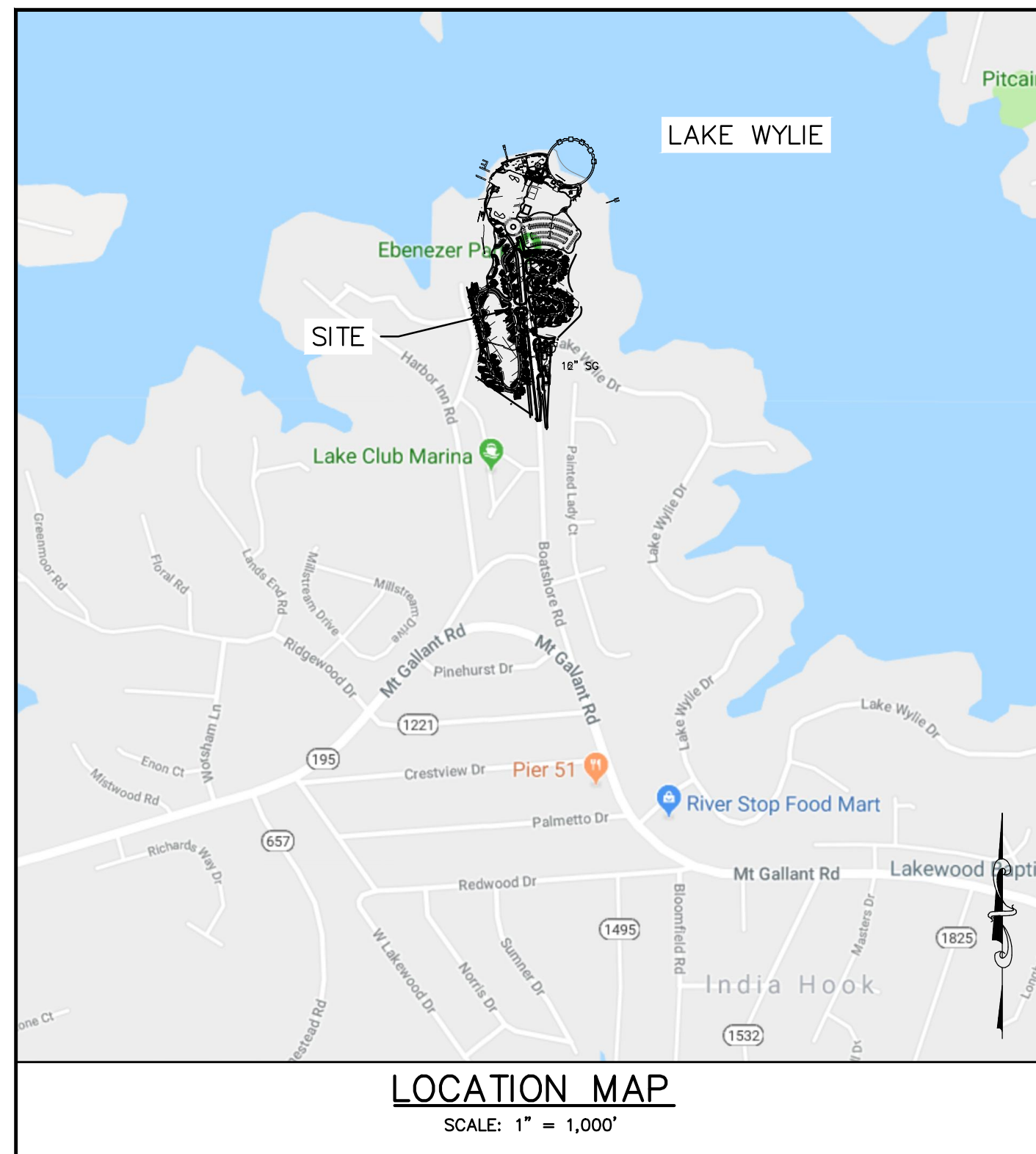
SHEET	TITLE	ISSUED	REVISED
P001	PLUMBING FIXTURE SCHEDULE AND NOTES	03/09/23	06/06/23
P101	WASTE PIPING PLANS	03/09/23	06/06/23
P102	DOMESTIC WATER PIPING PLANS	03/09/23	06/06/23



NEW CAMPGROUND RESTROOM & SHOWER BUILDING

FOR YORK COUNTY USE ONLY
APPROVED
Subject to York County Code of Ordinances by
initials and date below:
Reviewer: _____ Date: _____
Zoning: _____
Engineering: _____
Env Comp: _____
Changes/Alterations to this plan may void permit #.

PERMIT SET
ADC PROJECT #: 21435
DATE: 09 MAR 2023
REVISION #1 DATE: 06 JUN 2023
REVISION #2 DATE: 14 JULY 2023



CIVIL ABBREVIATIONS:

BTM	BOTTOM	OC	ON CENTER
BES	BEVELED END SECTION	ODSA	OPERATOR OF DAY TO DAY SITE ACTIVITIES
BM	BENCHMARK		
BMP	EROSION CONTROL BEST MANAGEMENT PRACTICES	PC	POINT OF CURVATURE
BW	BOTH WAYS	POA	POINT OF ANALYSIS
CB	CATCH BASIN	PP	POWER POLE
CI	CURB INLET	PT	POINT OF TANGENT
CGP	NPDES CONSTRUCTION GENERAL PERMIT SCR 100000	PVC	POLYVINYL CHLORIDE
CL	CENTERLINE	PVMT	PAVEMENT
CMP	CORRUGATED METAL PIPE	RAD	RADIUS
CO	CLEANOUT	ROP	REINFORCED CONCRETE PIPE
CONC	CONCRETE	RD	ROOF DRAIN
DCVA	DOUBLE CHECK VALVE ASSEMBLY	REQD	REQUIRED
DI	DROP INLET	RPBP	REDUCED PRESSURE BACKFLOW PREVENTER
DIA	DIAMETER	R/W	RIGHT OF WAY
DIP	DUCTILE IRON PIPE	SABC	STABILIZED AGGREGATE BASE COURSE
DS	DOWNSPOUT	SF	SQUARE FEET
EL	ELEVATION	SWPPP	STORM WATER POLLUTION PREVENTION PLAN
EW	EACH WAY	SB	SILT BARRIER
FFE	FINISHED FLOOR ELEVATION	SCDHEC	SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL
FG	FINISHED GRADE		
FH	FIRE HYDRANT	SCDOT	SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION
FM	FORCE MAIN	SD	STORM DRAINAGE
GI	GRATE INLET	SS	SANITARY SEWER SERVICE
HDPE	HIGH DENSITY POLYETHYLENE	STA	STATION
IAW	IN ACCORDANCE WITH	TELECOM	TELECOMMUNICATION
IE	INVERT ELEVATION	TBM	TEMPORARY BENCH MARK
JB	JUNCTION BOX	TC	TOP OF CURB
LF	LINEAR FEET	TG	TOP OF GUTTER
LOD	LIMITS OF DISTURBANCE	TP	TOP OF PAVEMENT
LP	LIGHT POLE	TYP	TYPICAL
MATL	MATERIAL	VC	VITRIFIED CLAY
MAX	MAXIMUM	W	WATER
MIN	MINIMUM	W/	WITH
MS4	MUNICIPAL SEPARATE STORM SEWER SYSTEM	WS	WATER SERVICE
NSI	NOTICE OF INTENT	WV	WATER VALVE
NOT	NOTICE OF TERMINATION		
NTS	NOT TO SCALE		

GENERAL NOTES:

- THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING 811 FOR UTILITY LOCATION AND DETERMINING THE EXACT LOCATION OF ALL UTILITIES PRIOR TO BEGINNING ANY WORK IF UTILITIES OTHER THAN THOSE SHOWN HEREON ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY AND TAKE APPROPRIATE MEASURES TO PROTECT THE LINE(S) AND ENSURE CONTINUED SERVICE. DAMAGE CAUSED TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL VERIFY THE CONNECTION POINTS OF NEW UTILITIES TO EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL REVIEW AND STAMP APPROVED ANY AND ALL SHOP DRAWINGS AND SUBMITTALS PRIOR TO SUBMITTING TO THE ENGINEER FOR REVIEW.
- IN PERFORMING CONSTRUCTION OBSERVATION VISITS TO THE JOB SITE, THE ENGINEER SHALL HAVE NO CONTROL OVER NOR RESPONSIBILITY FOR THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES IN PERFORMING THE WORK.
- THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES IN PERFORMING THE WORK IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR, WHO IS ALSO RESPONSIBLE FOR COMPLYING WITH ALL HEALTH AND SAFETY PRECAUTIONS AS REQUIRED BY ANY REGULATORY AGENCY.
- CONTRACTOR IS RESPONSIBLE FOR ALL WORK SHOWN, UNLESS SPECIFICALLY INDICATED OTHERWISE.

GENERAL SURVEY NOTES:

- TOPOGRAPHIC AND BOUNDARY INFORMATION BY SURVEY MATTERS, NOT VERIFIED BY ADC ENGINEERING, INC.
- THE ELEVATIONS DEPICTED HEREON ARE BASED ON NAD83 DATUM. THE HORIZONTAL CONTROL IS BASED ON SCSPC NAD'83.
- ALL PROJECT STAKEOUT SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR TO BE PAID FOR BY THE CONTRACTOR. FOR STAKEOUT, DO NOT RELY SOLELY ON THE PHYSICAL SCALE AS SHOWN IN DRAWINGS. REFER TO THE GIVEN DIMENSIONS, SYMBOL LEGEND, KEYNOTES, AND REFERENCED DETAILS FOR CORRECT STAKEOUT.

GENERAL SWPPP NOTES:

- ALL CONTRACTORS/SUBCONTRACTORS/PERSONS THAT WILL BE ENGAGED IN LAND DISTURBING ACTIVITIES SHALL COMPLY WITH ALL EROSION CONTROL AND STORMWATER POLLUTION PREVENTION REQUIREMENTS CONTAINED THROUGHOUT THE DRAWINGS, SWPPP, SPECIFICATIONS AND PERMITS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY FOR DESIGN, ADEQUACY AND IMPLEMENTATION OF ALL DEWATERING, ALL DEWATERING ACTIVITIES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STORMWATER POLLUTION PREVENTION PLAN.
- THE CONTRACTOR SHALL PLACE 4" OF TOPSOIL IN ALL DISTURBED AREAS NOT TO BE PAVED. THE CONTRACTOR SHALL ALSO PROVIDE TEMPORARY SEEDING AND PERMANENT STABILIZATION IN ALL AREAS WITHIN THE LIMITS OF CONSTRUCTION THAT ARE DISTURBED BY THE CONTRACTOR'S OPERATIONS.

GENERAL GRADING NOTES:

- THE CONTRACTOR SHALL INSTALL TREE PROTECTION BARRICADES PRIOR TO BEGINNING EARTHWORK OPERATIONS.
- OFFSITE BORROW NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR FROM SOURCES DEVELOPED BY THE CONTRACTOR.
- ALL NECESSARY BORROW/WASTE MATERIAL SHALL BE FROM/TAKEN FROM A SCDECH PERMITTED FACILITY.
- CONTRACTOR SHALL GRADE ALL AREAS TO DRAIN FOR POSITIVE FLOW PRIOR TO FINAL APPROVAL.
- THE DESIGN ADEQUACY AND SAFETY OF ALL BRACING, SHORING AND TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN THE SERVICES OF A QUALIFIED GEOTECHNICAL ENGINEER WHO SHALL PERFORM INVESTIGATIONS TO VERIFY THAT ALL WORK IS ACCOMPLISHED IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR TO NOTIFY ENGINEER IF UNSUITABLE MATERIAL IS DISCOVERED PRIOR TO REMOVAL.
- THE CONTRACTOR SHALL PROVIDE ABSULTS OF THE STORM DRAINAGE SYSTEM AND STORMWATER MANAGEMENT AREAS IAW YORK COUNTY AND SCDECH REQUIREMENTS.

SPECIAL FLOOD HAZARD AREA NOTES:

- THE SPECIAL FLOOD HAZARD AREA (SFHA) SHOWN WAS OBTAINED BY A FIELD RUN TOPOGRAPHIC SURVEY.
- NO FILL WILL BE PLACED IN THE SPECIAL FLOOD HAZARD AREA (SFHA - 100-YR FLOOD PLAIN). MINOR GRADING WILL TAKE PLACE IN THE SFHA TO ENSURE POSITIVE DRAINAGE.

OWNER/DEVELOPER
 YORK COUNTY
 6 S. CONGRESS STREET
 YORK, SC 29745
 CONTACT: LISA HAGOOD
 PHONE: 803-818-5733

FOR YORK COUNTY USE ONLY
APPROVED
 Subject to York County Code of Ordinances by initials and date below.
 Review: _____ Date: _____
 Zoning: _____
 Engineering: _____
 Env Comp: _____
 Changes/Alterations to this plan may void permit # _____

YORK COUNTY PROFESSIONAL'S CERTIFICATION:

I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 152 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000. I ALSO CERTIFY THAT THIS PLAN IS DESIGNED TO CONTAIN SEDIMENT ON THE PROPERTY CONCERNED AND TO PROVIDE FOR THE CONTROL OF STORMWATER RUNOFF FROM THE PROPERTY AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, ALL THE PROVISIONS ARE IN ACCORDANCE WITH CHAPTER 152 - STORMWATER MANAGEMENT AND SEDIMENT CONTROL OF THE YORK COUNTY CODE OF ORDINANCES.



Larry Barthelemy, IV
 LARRY BARTHELEMY, IV, PE
 REGISTERED PROFESSIONAL ENGINEER
 DATE: 07/14/2023

YORK COUNTY STORMWATER NOTES:

- FOLLOWING THE PRE-CONSTRUCTION CONFERENCE, CONTACT YORK COUNTY ENVIRONMENTAL COMPLIANCE AT (803) 909-7250 NOT LESS THAN 48 HOURS BEFORE COMMENCEMENT OF THE LAND-DISTURBING ACTIVITY. THE PERMITTEE SHALL ALSO CONTACT YORK COUNTY AFTER THE REMOVAL OF THE TEMPORARY SEDIMENT CONTROL MEASURES AND THE CONVERSION OF ANY BMPs REQUIRED TO BE CONVERTED INTO PERMANENT CONTROL MEASURES, ONCE THE SITE HAS BEEN FINALLY STABILIZED.
- NO STAGE OF WORK, RELATED TO THE CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES, SHALL PROCEED TO THE NEXT SUBSEQUENT STAGE OF WORK, ACCORDING TO THE SPECIES SPECIFIED IN THE APPROVED C-SWPPP STAGED CONSTRUCTION AND INSPECTION CONTROL SCHEDULE UNTIL IT IS INSPECTED AND APPROVED BY YORK COUNTY.
- THE PERMITTEE ENGAGED IN OR CONDUCTING THE LAND-DISTURBING ACTIVITY SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES AND FACILITIES DURING THE DEVELOPMENT OF A SITE, AS REQUIRED BY THE APPROVED PLAN OR ANY PROVISION OF THE YORK COUNTY STORMWATER ORDINANCE OPERATIONS AND MAINTENANCE CONDITIONS. AFTER SITE LAND-DISTURBING ACTIVITY IS COMPLETED, THE PERMITTEE AND OWNER INTENDS TO PROVIDE FOR OPERATIONS AND MAINTENANCE DURING AND POST CONSTRUCTION.
- STOCKPILES SHALL BE TEMPORARY AND SHALL BE LEVELED TO CONFORM TO SURROUNDING ELEVATION AS A PRECONDITION FOR ANY OF THE FOLLOWING, WHICHEVER OCCURS FIRST:
 - REQUEST FOR A NOTICE OF TERMINATION, OR,
 - REQUEST FOR YORK COUNTY ACCEPTANCE OF A ROAD OR STREET IN ACCORDANCE WITH THE ROAD/STREET ACCEPTANCE REQUIREMENTS OF CHAPTER 154 - SUBDIVISION CODE OF THE YORK COUNTY CODE OF ORDINANCES.
- AREAS AT FINAL GRADE SHALL RECEIVE PERMANENT STABILIZATION MEASURES WITHIN 14 CALENDAR DAYS OF REACHING FINAL GRADE.
- THE RESPONSIBILITY FOR MAINTAINING ALL PERMANENT EROSION AND SEDIMENT CONTROL MEASURES AND FACILITIES INCLUDING ASSESSMENTS, AFTER SITE LAND-DISTURBING ACTIVITY IS COMPLETED SHALL LIE WITH THE LANDOWNER OR PERSON IN POSSESSION OR CONTROL INCLUDING THE DEVELOPER, THE DEVELOPER'S DESIGNEE, OR ANY HOMEOWNERS ASSOCIATION, PROPERTY OWNER'S ASSOCIATION OR OTHER COMMON OWNER ENTITY ESTABLISHED FOR THE GOVERNANCE/ADMINISTRATION OF A SUBDIVISION OR COMMON PLAN OF DEVELOPMENT, EXCEPT FACILITIES AND MEASURES INSTALLED WITHIN ROAD OR STREET RIGHTS-OF-WAY OR EASEMENTS ACCEPTED FOR MAINTENANCE BY YORK COUNTY.
- APPROVED PLANS REMAIN VALID FOR FIVE YEARS FROM THE DATE OF AN APPROVAL.

YORK COUNTY NOTES:

- EQUIPMENT FOR SITE LIGHTING WILL BE ARRANGED SO THAT LIGHT DOES NOT INTERFERE WITH TRAFFIC, IS SHIELDED OR DIRECTED AWAY FROM ADJOINING RESIDENCES, AND PRODUCES NO GLARE ACROSS RESIDENTIAL PROPERTY BOUNDARIES.
- NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL THE PROPOSED DEVELOPMENT IS IN COMPLIANCE WITH THE APPROVED PLAN.
- THE SITE IS SUBJECT TO THE YORK COUNTY TREE ORDINANCE.

FLOOD ZONE NOTES:

- FROM SCALING THE FEMA FLOOD INSURANCE RATE MAP PANEL 193, COMMUNITY NUMBER 45060033, SUFFIX E, DATED SEPTEMBER 26, 2008, A PORTION OF THE PROPERTY ALONG LAKE WYLIE IS WITHIN FLOOD ZONE AE WITH A FLOOD ELEVATION OF 570. THE REST OF THE SITE IS IN ZONE X, WHICH IS OUTSIDE THE 100-YEAR FLOOD ZONE.
- THE FLOOD ZONE SHOWN ON THE DRAWINGS ARE BASED ON ACTUAL TOPOGRAPHIC INFORMATION FOR THE SITE AT ELEVATION 570.
- BOTH PROPOSED BUILDINGS ARE LOCATED IN FEMA FLOOD ZONE 'X', WHICH IS OUTSIDE OF THE 100-YEAR FLOOD ZONE.

GENERAL UTILITY NOTES:

- GENERAL CONTRACTOR SHALL COORDINATE ALL SITE UTILITIES AND STORM DRAINAGE INSTALLATION SCHEDULES TO AVOID POTENTIAL UTILITY CONFLICTS. GRAVITY DEPENDENT UTILITIES SHALL BE INSTALLED PRIOR TO NON-GRAVITY DEPENDENT UTILITIES.
- CONTRACTOR SHALL CONTACT PALMETTO UTILITY LOCATION SERVICE AT 811 OR 1-888-721-7877 PRIOR TO ANY WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD LOCATING AND PROTECTING ALL UTILITIES. CONTACT THE ENGINEER IN THE EVENT THAT UTILITIES CONFLICT WITH NEW FACILITIES.
- THE CONTRACTOR MUST SUBMIT A COMPLETE SET OF WATER/SEWER ABSULT DRAWINGS TO THE CITY OF ROCK HILL FOR REVIEW AND APPROVAL. ABSULTS MUST BE APPROVED BEFORE ISSUANCE OF CERTIFICATE OF OCCUPANCY (C.O.).

EBENEZER PARK PHASE II
 4490 BOATSHORE RD, ROCK HILL
 YORK COUNTY, SOUTH CAROLINA

Parking Summary

Existing Parking	Use	Requirement	Required	Provided
Standard Vehicle	206			
Boat Parking	68			
Proposed Standard Vehicle Parking				
Use	Requirement (1 square footage, # employees, etc.)		Required	Provided
Standard Vehicle	1 per 5000[sf of open space	X 297,907	= 60	188
			TOTAL =	60
ADA Parking Requirement				
			Total ADA Parking Spaces =	3
			Van Accessible Spaces =	1
Summary				
			Standard Spaces =	57
			ADA Standard Spaces =	2
			ADA Van Accessible =	1
			TOTAL =	60
Proposed Boat Parking				
			Total Boat Parking Spaces =	63

PROJECT INFORMATION

DEVELOPMENT DATA

PROJECT NAME	EBENEZER PARK PHASE II
DEVELOPMENT DESCRIPTION	THE PROJECT INCLUDES: - NEW PARKING - NEW BUILDINGS - DRIVE EXPANSION - DRAINAGE IMPROVEMENTS - CAMPGROUND IMPROVEMENTS
PROJECT OWNER	YORK COUNTY (LISA HAGOOD 803-818-5733)
PROJECT CIVIL ENGINEER	ADC ENGINEERING, INC. (LARRY BARTHELEMY 864-751-9121)
PROJECT LANDSCAPE ARCHITECT	ADC ENGINEERING, INC. (FRED GUTHRIE 864-751-9121)

PROPERTY INFORMATION

TMS	586-00-00-002 & 586-00-00-012
ADDRESS	4490 BOATSHORE RD, ROCK HILL, SC
STREET CLASSIFICATION(S)	LOCAL ROAD
FLOOD ZONE STATEMENT	THIS PROPERTY IS LOCATED IN ZONES X AND AE (WITH A BASE FLOOD ELEVATION OF 570), AS DEPICTED ON PRELIMINARY FEMA COMMUNITY PANEL 4501960193E, DATED SEPTEMBER 26, 2008.
TOTAL ACREAGE	23.773 AC.
WETLAND STATUS	NOT APPLICABLE

ZONING INFORMATION

MUNICIPALITY	YORK COUNTY
EXISTING ZONING	PR (MARCH 6, 2023 - CASE # 22-42)
ADJACENT USE/ZONING	
NORTH	LAKE WYLIE (UNZONED)
EAST	RESIDENTIAL (RSF-40)
SOUTH	RESIDENTIAL (RMX-20)
WEST	SOL ABERMAN ROAD AND RESIDENTIAL (RSF-30)
HEIGHT LIMITATION	N/A
HISTORIC DISTRICT	N/A

SETBACKS/BUFFERS

SETBACKS	REQUIRED	PROVIDED
FRONTAGE (MINOR ROAD)	25'	>25'
SIDE (ADJ. TO RESIDENTIAL)	30'	>30'
SIDE (NOT ADJ. TO RESIDENTIAL)	10'	>10'
REAR	10'	>10'
BUFFERS		
WEST PROPERTY LINE	10'	10'
SOUTHWEST PROPERTY LINE	20'	20'
EAST OF BOAT SHORE RD.	10'	10'
EAST OF BOAT SHORE RD.	10'	10'

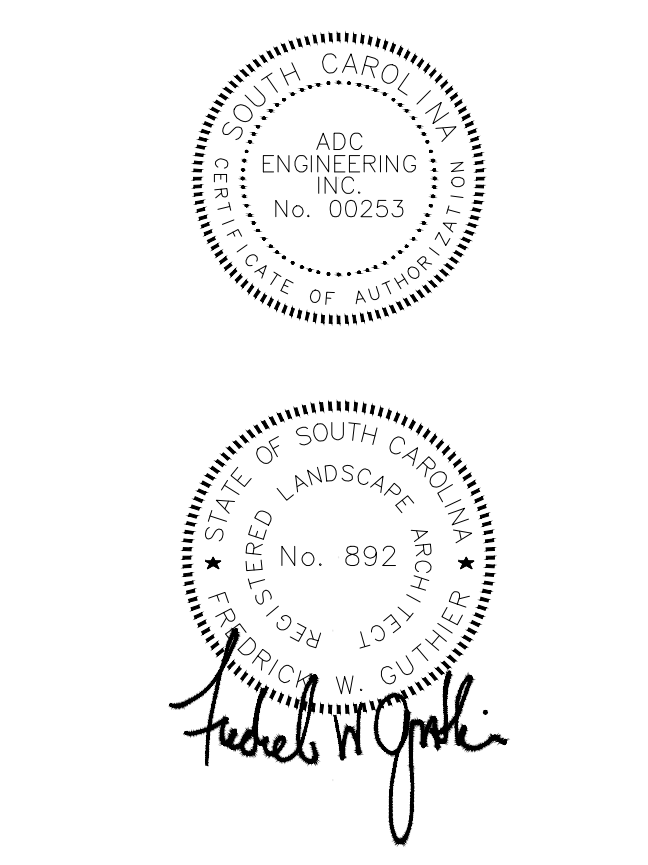
APPLICANT'S CERTIFICATION:

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

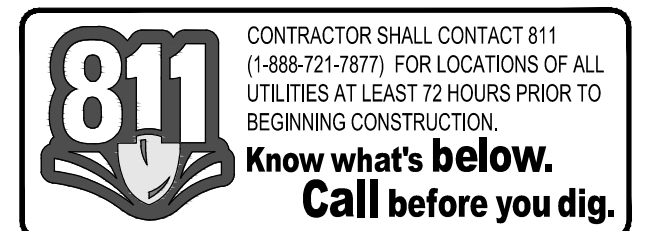
I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THESE PLANS CONTAIN ALL INFORMATION REQUIRED BY CHAPTER 152, STORMWATER MANAGEMENT AND SEDIMENT CONTROL OF THE YORK COUNTY CODE OF ORDINANCES AND AS REFERENCED BY THIS APPLICATION. I HEREBY CERTIFY THAT ALL LAND DISTURBING ACTIVITIES INCLUDING CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND AGREE TO INDEMNIFY ANY PERSON DAMAGED BY FAILURE TO COMPLY WITH THE APPROVED PLAN. COUNTY AND STATE AUTHORITIES WILL BE ALLOWED TO ENTER UPON THE PROJECT SITE AT ANY REASONABLE TIME PROVIDED THEY PRESENT APPROPRIATE CREDENTIALS.

Lisa Hagood
 PERMIT APPLICANT
 DATE: 07/14/2023

YORK COUNTY
 York, South Carolina
EBENEZER PARK PHASE II IMPROVEMENTS
 ROCK HILL
 SOUTH CAROLINA



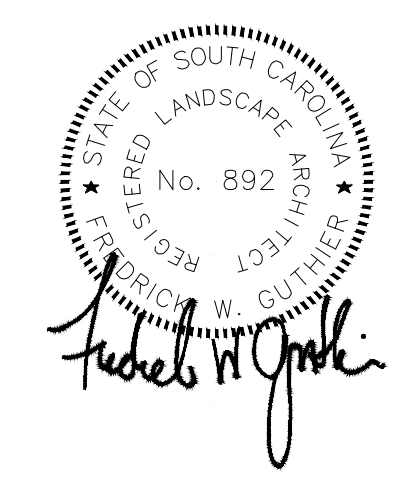
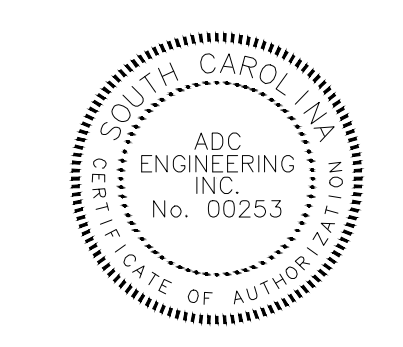
ADC ENGINEERING
 CHARLESTON | COLUMBIA | GREENVILLE
 25 WOODS LAKE ROAD, SUITE 210
 GREENVILLE, SC 29607
 ph: 864-751-9121
 www.adcengineering.com



DATE: 03/09/2023
 ADC PROJECT #: 21455
 DESIGNED: FWG
 CHECKED: FWG
 DRAWN: NCM
 REVISION:
 △ REVISED PERMIT DWGS 06/06/2023
 △ REVISED PERMIT DWGS 07/14/2023

NOTES & ABBREVIATIONS

L001



ADC ENGINEERING
CHARLESTON \ COLUMBIA \ GREENVILLE
25 WOODS LAKE ROAD, SUITE 210
GREENVILLE, SC 29607
ph: 864-751-9121
WWW.ADCENGINEERING.COM

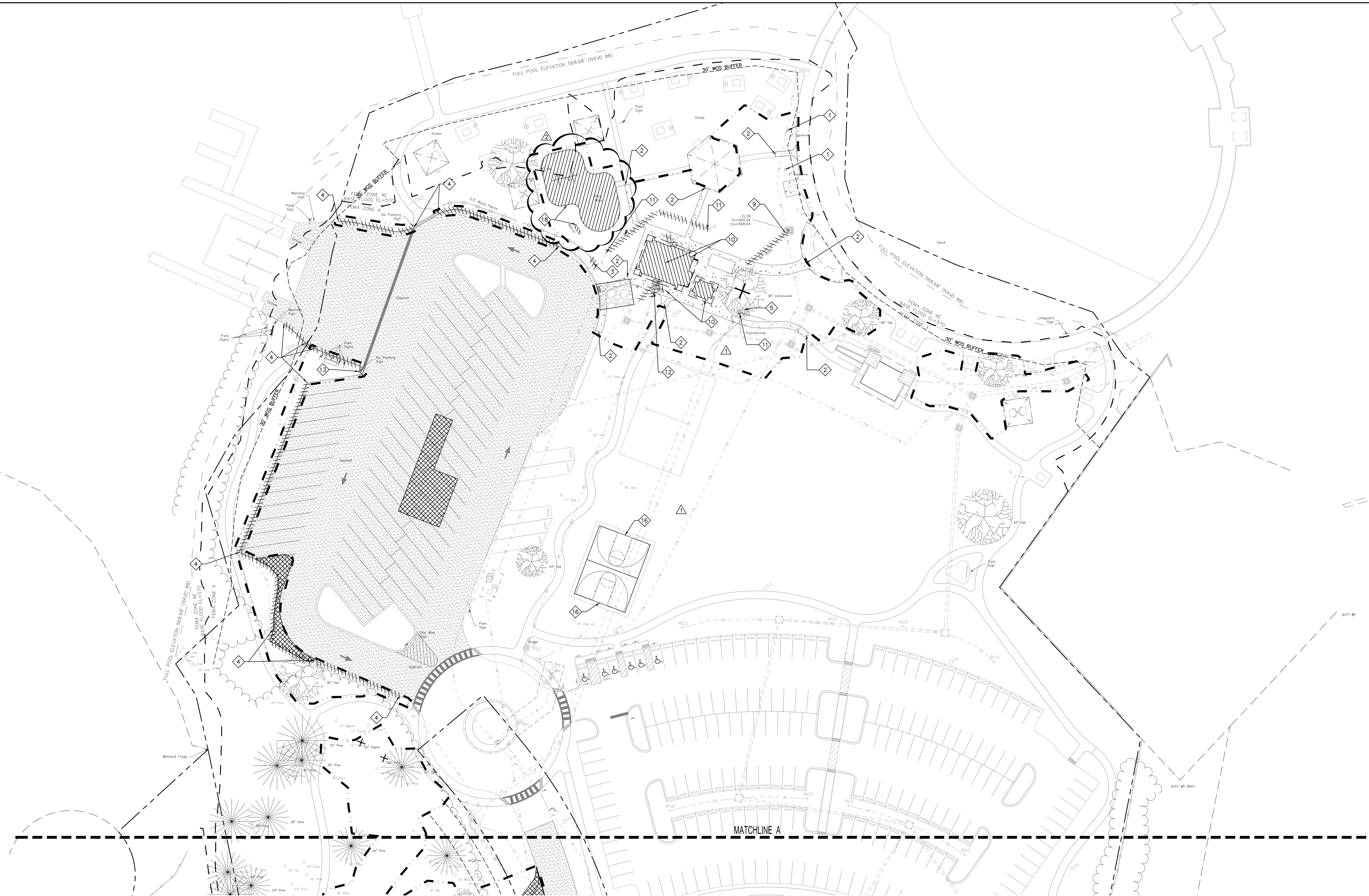
811 CONTRACTOR SHALL CONTACT 811 (1-888-721-7871) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
Know what's below. Call before you dig.

DATE:	03/09/2023
ADC PROJECT #:	21455
DESIGNED:	FWG
CHECKED:	FWG
DRAWN:	NCM
REVISION:	
▲	REVISED PERMIT DWGS 06/08/2023
▲	REVISED PERMIT DWG 07/14/2023

DEMOLITION PLAN - AREA 1

L101

PERMIT SET



- DEMOLITION NOTES:**
- SEE SHEET C001 FOR CIVIL ABBREVIATIONS AND GENERAL NOTES.
 - PROTECT ALL EXISTING UTILITIES SCHEDULED TO REMAIN. REPAIR ANY PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES.
 - PROTECT ALL EXISTING PAVEMENT SCHEDULED TO REMAIN. REPAIR ANY PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES.
 - REFER TO SITE ELECTRICAL PLANS FOR REMOVAL/RELOCATION/REPLACEMENT OF EXISTING SITE ELECTRICAL FEATURES.
 - PERIMETER SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION OCCURRED.

- KEYNOTES:**
- RELOCATE AND SALVAGE EXISTING TREE.
 - REMOVE EXISTING SIDEWALK TO LIMITS SHOWN.
 - REMOVE EXISTING FENCE TO NEXT POST AS SHOWN.
 - SAW CUT AND REMOVE EXISTING ASPHALT CURB TO LIMITS SHOWN.
 - COORDINATE WITH LOCAL POWER COMPANY TO RELOCATE EXISTING LIGHT POLES.
 - NOT USED.
 - RELOCATE EXISTING TRASH & RECYCLING BINS PER SITE PLANS.
 - REMOVE EXISTING TIMBER RETAINING WALL.
 - REMOVE EXISTING STORM DRAINAGE PIPES AND STRUCTURES.
 - DEMOLISH BUILDING IN ITS ENTIRETY IAW ENVIRONMENTAL REPORTS AND LOCAL GOVERNING AGENCY REQUIREMENTS.
 - RELOCATE EXISTING UNDERGROUND ELECTRICAL AND/OR TELEPHONE UTILITY LINES AS SHOWN ON THE UTILITY PLAN. COORDINATE ALL WORK WITH UTILITY COMPANIES.
 - ABANDON AND REPLACE EXISTING WATER LINES & HOSE BIBS AS SHOWN ON THE UTILITY PLANS.
 - REMOVE EXISTING SIGN.
 - NOT USED.
 - NOT USED.
 - REMOVE AND SALVAGE BASKETBALL GOALS FOR OWNER STORAGE.
 - NOT USED.
 - REMOVE EXISTING PLAYGROUND AND BENCH.

EXISTING SITE/DEMOLITION LEGEND

WATER LINE W/ VALVE	--- W ---	WATER METER	⊙
SANITARY SEWER PIPE	--- S ---	FIRE HYDRANT	⊕
SANITARY SEWER SERVICE	--- SS ---	ELECTRICAL TRANSFORMER	⊕
STORM DRAIN	--- SD ---	POWER POLE	⊕
FENCE	--- X ---	LIGHT POLE	⊕
POWER LINE (UNDERGROUND)	--- UP ---	EXISTING TREE	⊙
TREE BARRICADE - INSTALL IAW COUNTY DETAIL 4.01 ON SHEET L401.	--- TB ---	TREE TO BE DEMOLISHED	⊗
SANITARY SEWER MANHOLE	⊙	PROPERTY LINE	---
SANITARY SEWER CLEANOUT	⊙	LIMITS OF CONSTRUCTION/ LIMITS OF DISTURBANCE	---
CATCH BASIN	⊕		
REINFORCED SILT FENCE	⊕		

ITEMS TO BE DEMOLISHED

REMOVE EXISTING GRAVEL IN ITS ENTIRETY	⊕
SAW CUT AND REMOVE EXISTING ASPHALT WITHIN LIMITS SHOWN	⊕
SAW CUT AND REMOVE EXISTING CONCRETE WITHIN LIMITS SHOWN	⊕
2" ASPHALT MILL AND OVERLAY - INSTALL IAW DETAIL E/L402 AND F/L402. RESTRIPE OVERLAY TO MATCH EXISTING.	⊕

SPECIAL FLOOD HAZARD AREA NOTES:

- THE SPECIAL FLOOD HAZARD AREA (SFHA) SHOWN WAS OBTAINED BY A FIELD RUN TOPOGRAPHIC SURVEY.
- NO FILL WILL BE PLACED IN THE SPECIAL FLOOD HAZARD AREA (SFHA - 100-YR FLOOD PLAIN). MINOR GRADING WILL TAKE PLACE IN THE SFHA TO ENSURE POSITIVE DRAINAGE.

FOR YORK COUNTY USE ONLY

APPROVED

Subject to York County Code of Ordinances by initials and date below:

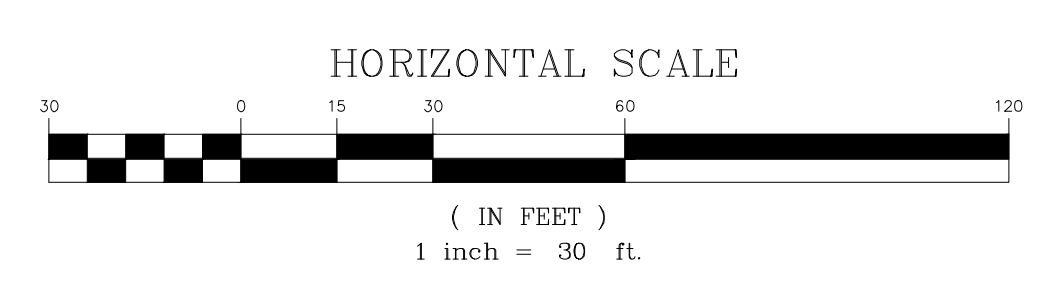
Revised: _____ Date: _____

Zoning: _____

Engineering: _____

Env. Comp: _____

Changes/Alterations to this plan may void permit # _____





DEMOLITION NOTES:

- SEE SHEET C001 FOR CIVIL ABBREVIATIONS AND GENERAL NOTES.
- PROTECT ALL EXISTING UTILITIES SCHEDULED TO REMAIN. REPAIR ANY PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES.
- PROTECT ALL EXISTING PAVEMENT SCHEDULED TO REMAIN. REPAIR ANY PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES.
- REFER TO SITE ELECTRICAL PLANS FOR REMOVAL/RELOCATION/REPLACEMENT OF EXISTING SITE ELECTRICAL FEATURES.
- PERIMETER SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION OCCURRED.

KEYNOTES:

- RELOCATE AND SALVAGE EXISTING TREE.
- REMOVE EXISTING SIDEWALK TO LIMITS SHOWN.
- REMOVE EXISTING FENCE TO NEXT POST AS SHOWN.
- SAW CUT AND REMOVE EXISTING ASPHALT CURB TO LIMITS SHOWN.
- COORDINATE WITH LOCAL POWER COMPANY TO RELOCATE EXISTING LIGHT POLES.
- REMOVE AND REPLACE EXISTING SEWER LINES & HOOKUPS AS SHOWN ON THE UTILITY PLANS.
- RELOCATE EXISTING TRASH AND RECYCLING BINS PER SITE PLAN.
- REMOVE EXISTING TIMBER RETAINING WALL.
- NOT USED.
- DEMOLISH BUILDING IN ITS ENTIRETY IAW ENVIRONMENTAL REPORTS AND LOCAL GOVERNING AGENCY REQUIREMENTS.
- RELOCATE EXISTING UNDERGROUND ELECTRICAL AND/OR TELEPHONE UTILITY LINES AS SHOWN ON THE UTILITY PLAN. COORDINATE ALL WORK WITH UTILITY COMPANIES.
- ABANDON AND REPLACE EXISTING WATER LINES & HOSE BIBS AS SHOWN ON THE UTILITY PLANS.
- REMOVE EXISTING SIGN.
- NOT USED.
- NOT USED.
- NOT USED.
- RELOCATE EXISTING SIGN.

EXISTING SITE/DEMOLITION LEGEND

WATER LINE W/ VALVE	---	W	WV	WATER METER	⊙	WM
SANITARY SEWER PIPE	---	S	---	FIRE HYDRANT	⊙	FH
SANITARY SEWER SERVICE	---	SS	---	ELECTRICAL TRANSFORMER	⊙	E
STORM DRAIN	---	SD	---	POWER POLE	⊙	PP
FENCE	---	X	---	LIGHT POLE	⊙	LP
POWER LINE (UNDERGROUND)	---	UP	---	EXISTING TREE	⊙	LT
TREE BARRICADE - INSTALL IAW COUNTY DETAIL 4.01 ON SHEET L401.	---	TB	---	TREE TO BE DEMOLISHED	⊙	LT
SANITARY SEWER MANHOLE	⊙	SSMH		PROPERTY LINE	---	---
SANITARY SEWER CLEANOUT	⊙	SC		LIMITS OF CONSTRUCTION/ LIMITS OF DISTURBANCE	---	---
CATCH BASIN	⊙	CB				
REINFORCED SILT FENCE	---	---	---			

ITEMS TO BE DEMOLISHED

REMOVE EXISTING GRAVEL IN ITS ENTIRETY	▨
SAW CUT AND REMOVE EXISTING ASPHALT WITHIN LIMITS SHOWN	▨
SAW CUT AND REMOVE EXISTING CONCRETE WITHIN LIMITS SHOWN	▨
2" ASPHALT MILL AND OVERLAY - INSTALL IAW DETAIL E/L402 AND F/L402. RESTRIPE OVERLAY TO MATCH EXISTING.	▨

SPECIAL FLOOD HAZARD AREA NOTES:

- THE SPECIAL FLOOD HAZARD AREA (SFHA) SHOWN WAS OBTAINED BY A FIELD RUN TOPOGRAPHIC SURVEY.
- NO FILL WILL BE PLACED IN THE SPECIAL FLOOD HAZARD AREA (SFHA - 100-YR FLOOD PLAIN). MINOR GRADINGS WILL TAKE PLACE IN THE SFHA TO ENSURE POSITIVE DRAINAGE.

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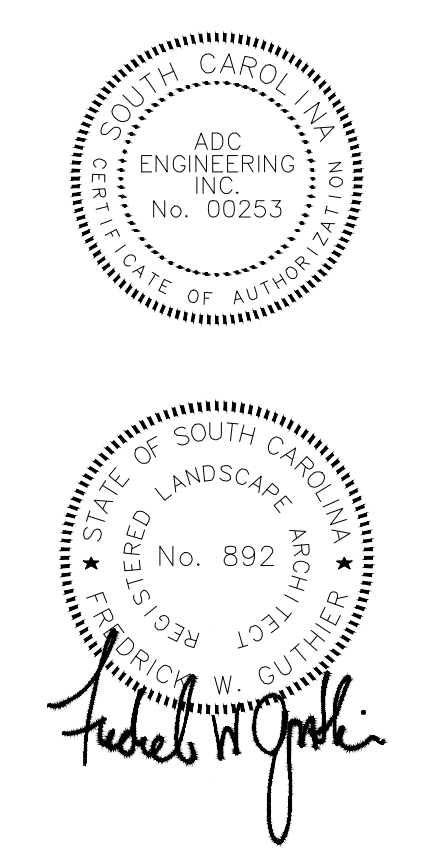
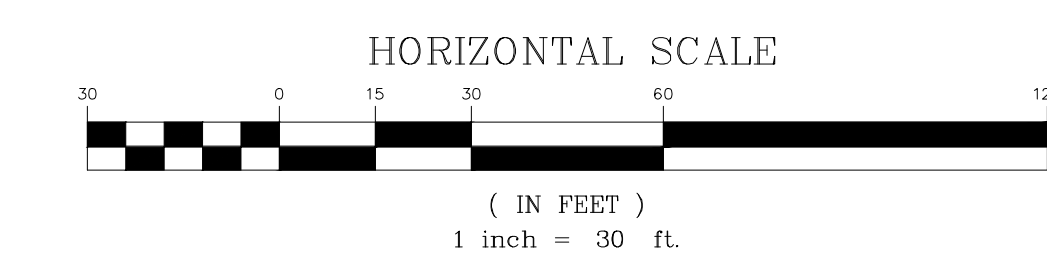
Receiver: _____ Date: _____

Zoning: _____

Engineering: _____

Env Comp: _____

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ADC ENGINEERING

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25 WOODS LAKE ROAD, SUITE 210

GREENVILLE, SC 29607

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811

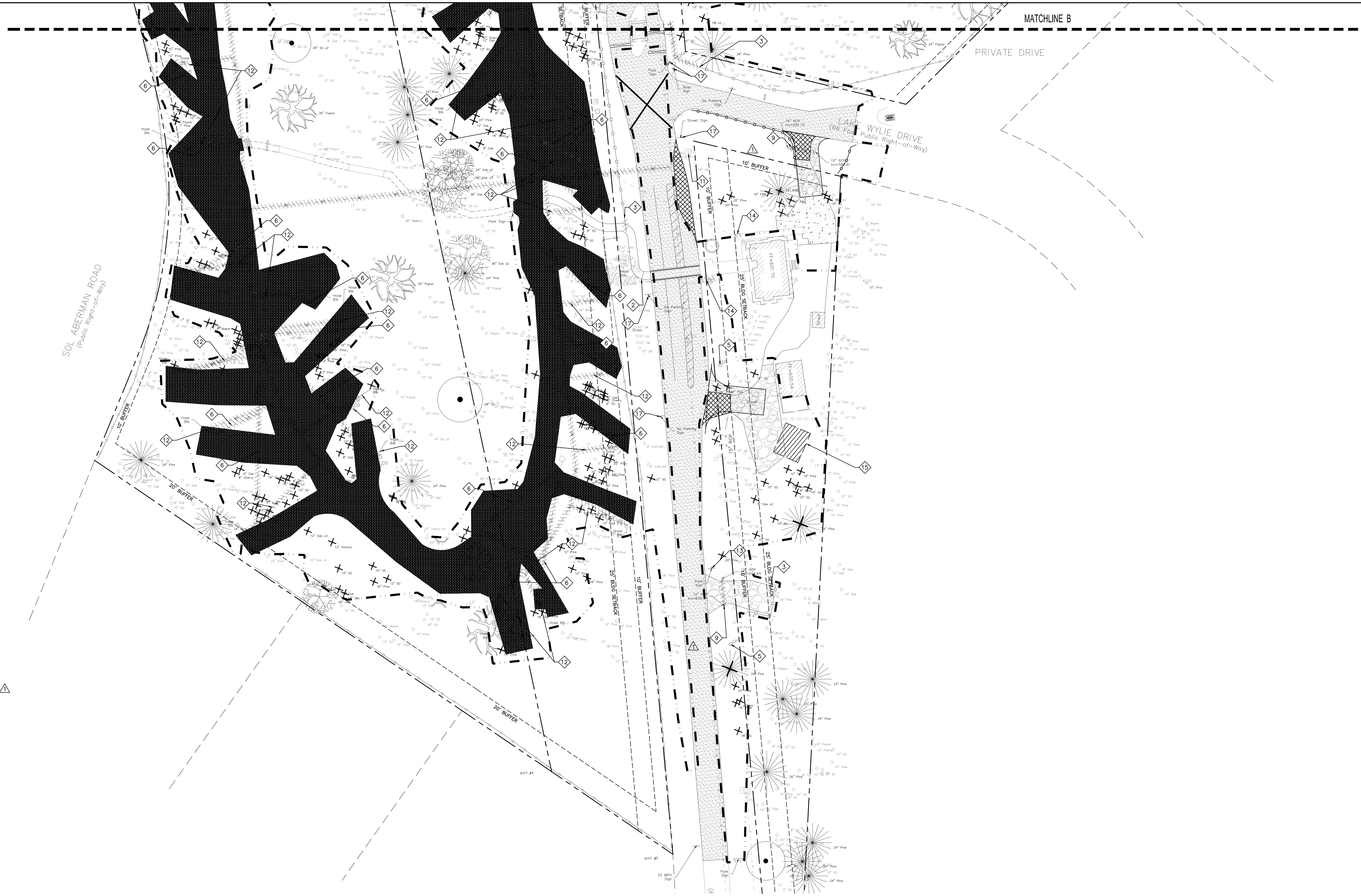
CONTRACTOR SHALL CONTACT 811 (888-721-7871) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.

Know what's below. Call before you dig.

DATE:	03/09/2023
ADC PROJECT #:	21455
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DRAWN:	NCM
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△	REVISED PERMIT DWGS 06/08/2023
△	REVISED PERMIT DWG 07/14/2023

DEMOLITION PLAN - AREA 2

L102



DEMOLITION NOTES:

- SEE SHEET C001 FOR CIVIL ABBREVIATIONS AND GENERAL NOTES.
- PROTECT ALL EXISTING UTILITIES SCHEDULED TO REMAIN. REPAIR ANY PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES.
- PROTECT ALL EXISTING PAVEMENT SCHEDULED TO REMAIN. REPAIR ANY PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES.
- REFER TO SITE ELECTRICAL PLANS FOR REMOVAL/RELOCATION/REPLACEMENT OF EXISTING SITE ELECTRICAL FEATURES.
- PERIMETER SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION OCCURRED.

KEYNOTES:

- RELOCATE AND SALVAGE EXISTING TREE.
- REMOVE EXISTING SIDEWALK TO LIMITS SHOWN.
- REMOVE EXISTING FENCE TO NEXT POST AS SHOWN.
- SAW CUT AND REMOVE EXISTING ASPHALT CURB TO LIMITS SHOWN.
- COORDINATE WITH LOCAL POWER COMPANY TO RELOCATE EXISTING LIGHT POLES.
- REMOVE AND REPLACE EXISTING SEWER LINES & HOOKUPS AS SHOWN ON THE UTILITY PLANS.
- RELOCATE EXISTING TRASH AND RECYCLING BINS PER SITE PLAN.
- REMOVE EXISTING TIMBER RETAINING WALL.
- REMOVE EXISTING STORM DRAINAGE PIPES AND STRUCTURES.
- DEMOLISH BUILDING IN ITS ENTIRETY IAW ENVIRONMENTAL REPORTS AND LOCAL GOVERNING AGENCY REQUIREMENTS.
- RELOCATE EXISTING UNDERGROUND ELECTRICAL AND/OR TELEPHONE UTILITY LINES AS SHOWN ON THE UTILITY PLAN. COORDINATE ALL WORK WITH UTILITY COMPANIES.
- ABANDON AND REPLACE EXISTING WATER LINES & HOSE BIBS AS SHOWN ON THE UTILITY PLANS.
- REMOVE EXISTING SIGN.
- CONTRACTOR TO REMOVE A 6' WIDE SECTION OF THE BOARDWALK RAILING WHERE ADJACENT SIDEWALK MEETS UP WITH DECKING.
- RELOCATE STEEL CARPORT AS SHOWN ON SITE PLAN.
- NOT USED.
- RELOCATE EXISTING SIGN.

EXISTING SITE/DEMOLITION LEGEND

WATER LINE W/ VALVE	--- W ---	WATER METER	⊙
SANITARY SEWER PIPE	--- S ---	FIRE HYDRANT	⊕
SANITARY SEWER SERVICE	--- SS ---	ELECTRICAL TRANSFORMER	⊕
STORM DRAIN	--- SD ---	POWER POLE	⊕
FENCE	--- X ---	LIGHT POLE	⊕
POWER LINE (UNDERGROUND)	--- UP ---	EXISTING TREE	⊙
TREE BARRICADE - INSTALL IAW COUNTY DETAIL 4.01 ON SHEET L401.	--- TB ---	TREE TO BE DEMOLISHED	⊗
SANITARY SEWER MANHOLE	⊙	PROPERTY LINE	---
SANITARY SEWER CLEANOUT	⊙	LIMITS OF CONSTRUCTION/ LIMITS OF DISTURBANCE	---
CATCH BASIN	⊙		
REINFORCED SILT FENCE	⊙		

- ITEMS TO BE DEMOLISHED**
- REMOVE EXISTING GRAVEL IN ITS ENTIRETY
 - SAW CUT AND REMOVE EXISTING ASPHALT WITHIN LIMITS SHOWN
 - SAW CUT AND REMOVE EXISTING CONCRETE WITHIN LIMITS SHOWN
 - 2" ASPHALT MILL AND OVERLAY - INSTALL IAW DETAIL E/L402 AND F/L402. RESTRIPE OVERLAY TO MATCH EXISTING.

SPECIAL FLOOD HAZARD AREA NOTES:

- THE SPECIAL FLOOD HAZARD AREA (SFHA) SHOWN WAS OBTAINED BY A FIELD RUN TOPOGRAPHIC SURVEY.
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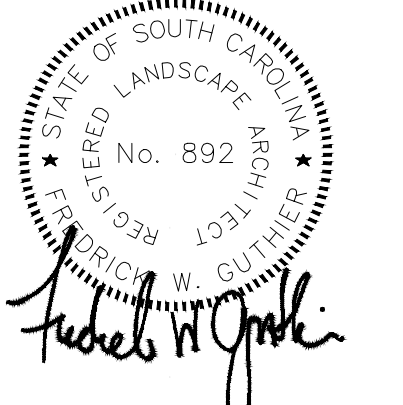
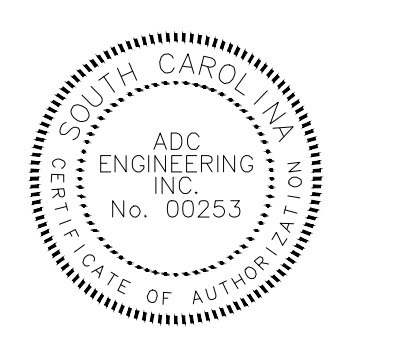
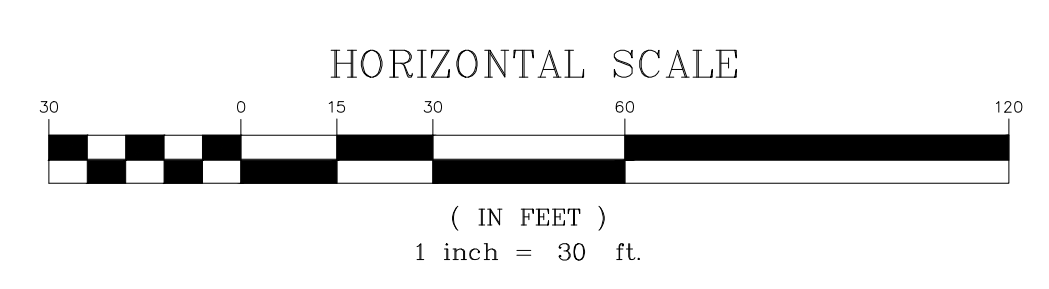
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Eav Comp: _____

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DEMOLITION PLAN - AREA 3

L103



4.6.6.2 TREE PROTECTION STANDARD NOTES

- A. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, TRENCHING, BURIAL PITS OR OTHER LAND DISTURBING ACTIVITY IS ALLOWED WITHIN THE TREE PROTECTION ZONE. THE ZONE OF PROTECTION IS DEFINED BY AN AREA OF TREES WITH TREE PROTECTION FENCING INSTALLED AROUND ITS PERIMETER.
- B. ALL TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING, CONSTRUCTION OR OTHER LAND DISTURBING ACTIVITY.
- C. TREE PROTECTION FENCING SHALL EXTEND AROUND THE TREES WITH A RADIUS OF NO LESS THAN ONE FOOT (1') FOR EVERY ONE-INCH (1") OF TRUNK DIAMETER. TREE PROTECTION FENCING MUST BE AT LEAST 4.5 FEET TALL AND SHALL CONSIST OF WOOD, PLASTIC, OR METAL PER § 154.202(A)(1)(a). ORANGE PLASTIC (HDPE) CONSTRUCTION SAFETY FENCING INSTALLED WITH METAL POSTS IS PREFERRED. SEE STANDARD DETAIL 4.01 FOR AN ILLUSTRATION.
- D. TREE PROTECTION FENCING MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING, OR CONSTRUCTION AND CANNOT BE REMOVED UNTIL AFTER FINAL INSPECTION HAS BEEN APPROVED.
- E. IN SOME CASES, IT MAY BE NECESSARY TO TEMPORARILY ACCESS THE TREE PROTECTION ZONE WITH CONSTRUCTION EQUIPMENT. IN SUCH CASE, A FOUR-TO-SIX-INCH (4"-6") LAYER OF MULCH IS REQUIRED TO ACT AS A CUSHION TO PREVENT SOIL COMPACTION. THE MULCH LAYER WILL BE REQUIRED AFTER 30 DAYS. REMOVING THE MULCH MUST BE APPROACHED WITH CARE AS TO NOT REMOVE ANY OF THE ORIGINAL THIS WOULD DAMAGE THE TOP FEEDER ROOTS OF THE TREE, WHICH PLAY A VITAL ROLE IN THE HEALTH OF THE TREE. COUNTY STAFF MAY REQUEST THAT 2'-4" OF MULCH BE LEFT IN PLACE AS A CULTURAL TREATMENT TO THE TREE.
- F. NO FILL DIRT DEEPER THAN ONE INCH (1") SHALL BE ALLOWED WITHIN THE TREE PROTECTION AREA. NO GRUBBING IS PERMITTED IN THE TREE PROTECTION ZONE. STUMPS, DEAD TREES AND ANY SHRUB GROWTH TO BE REMOVED SHALL BE CUT FLUSH OR GROUND OUT.
- G. DO NOT REMOVE TREE PROTECTION FENCING UNTIL FINAL COMPLETION OF PROJECT.
- H. PROTECTED TREES THAT DIE AS A RESULT OF THE CONTRACTOR'S NEGLIGENCE TO THESE SPECIFICATIONS SHALL BE REMOVED AND REPLACED BY THE OWNER WITH A NEW TREE PLANTED PER MITIGATION POLICY IN THE TREE ORDINANCE GUIDELINES AND AS DIRECTED BY YORK COUNTY STAFF.
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EXISTING SITE/DEMOLITION LEGEND

WATER LINE W/ VALVE	--- W ---	WATER METER	⊙
SANITARY SEWER PIPE	--- S ---	FIRE HYDRANT	⊕
SANITARY SEWER SERVICE	--- SS ---	ELECTRICAL TRANSFORMER	⊖
STORM DRAIN	====	POWER POLE	⊕
FENCE	--- X ---	LIGHT POLE	⊕
POWER LINE (UNDERGROUND)	--- UP ---	EXISTING TREE	⊙
TREE BARRICADE - INSTALL IAW COUNTY DETAIL 4.01 ON SHEET L401.	--- TB ---	TREE TO BE DEMOLISHED	⊗
SANITARY SEWER MANHOLE	○ SSMH	PROPERTY LINE	---
SANITARY SEWER CLEANOUT	○ SC	LIMITS OF CONSTRUCTION/ LIMITS OF DISTURBANCE	---
CATCH BASIN	⊠ CB		
REINFORCED SILT FENCE SEE EROSION CONTROL PLANS	--- R ---		

KEYNOTES:

1. RELOCATE AND SALVAGE EXISTING TREE.
2. INSTALL TREE PROTECTION IAW COUNTY DETAIL 4.01 ON SHEET L401.
3. SAW/CLEAN CUT ROOTS TO SAVED TREES WHEN DISTURBANCE IS CLOSER THAN 1' PER INCH OF CALIPER

SPECIAL FLOOD HAZARD AREA NOTES:

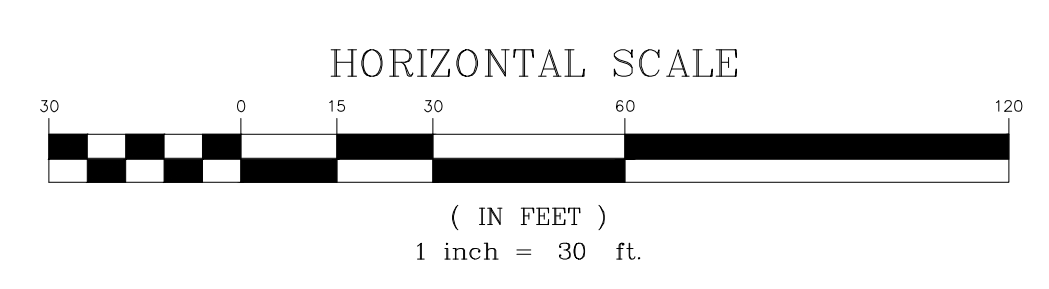
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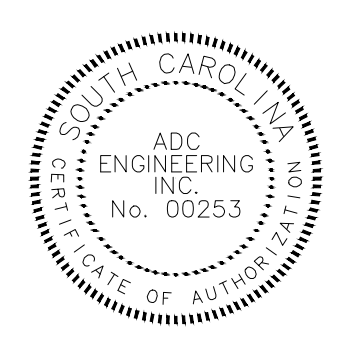
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YORK COUNTY
York, South Carolina

**EBENEZER PARK
PHASE II IMPROVEMENTS**

ROCK HILL
SOUTH CAROLINA



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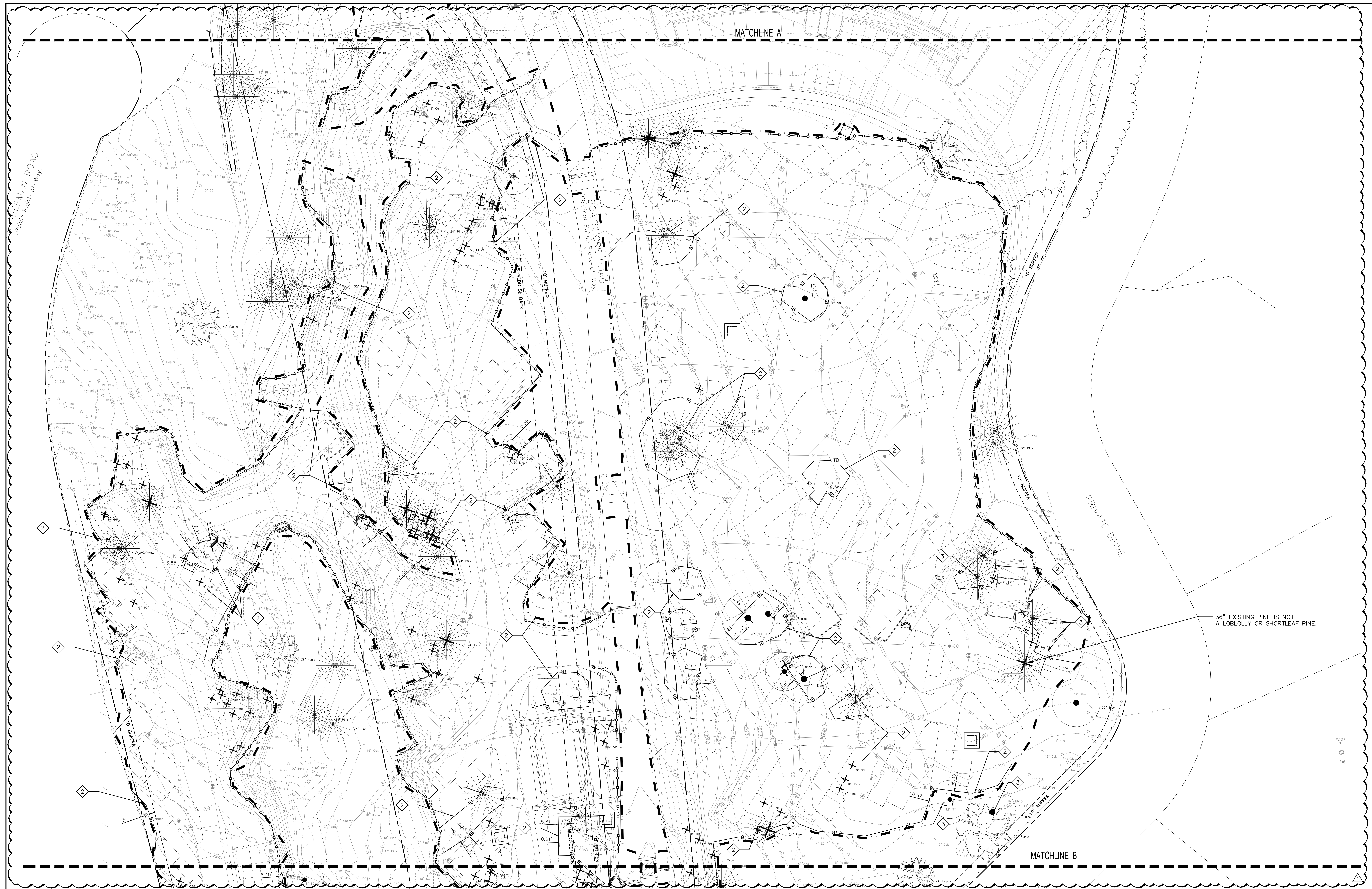
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**TREE PROTECTION
PLAN - AREA 1**

L104

PERMIT SET



4.6.6.2 TREE PROTECTION STANDARD NOTES

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SANITARY SEWER SERVICE	---	ELECTRICAL TRANSFORMER	⊕
STORM DRAIN	---	POWER POLE	⊕
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POWER LINE (UNDERGROUND)	---	EXISTING TREE	⊙
TREE BARRICADE - INSTALL IAW COUNTY DETAIL 4.01 ON SHEET L401.	---	TREE TO BE DEMOLISHED	⊗
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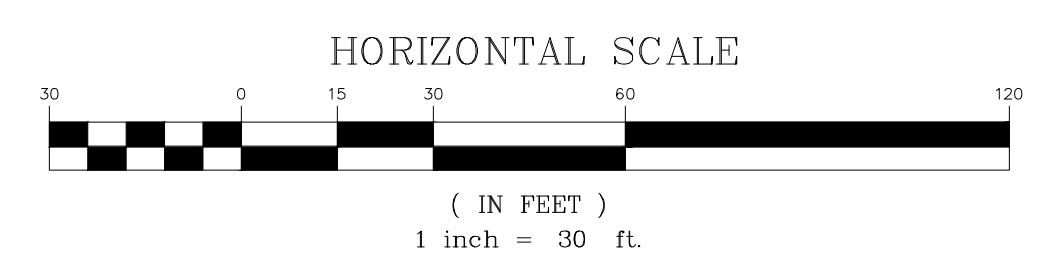
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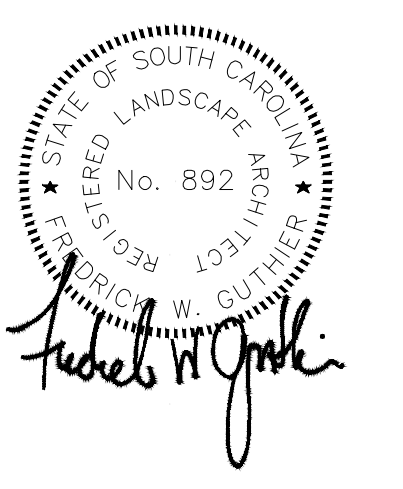
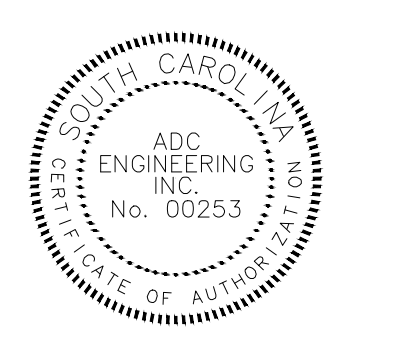
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**TREE PROTECTION
PLAN - AREA 2**

L105

PERMIT SET



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CATCH BASIN	⊞	CB		
REINFORCED SILT FENCE SEE EROSION CONTROL PLANS	---	RF		

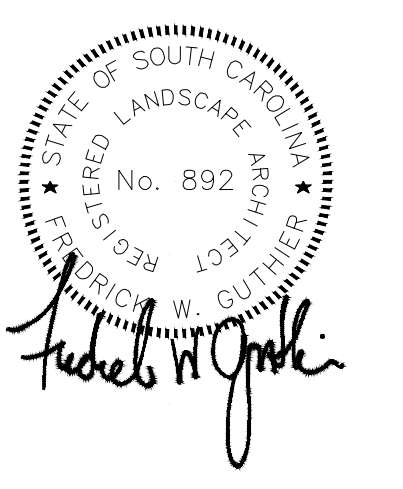
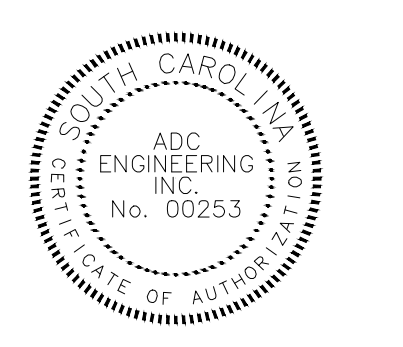
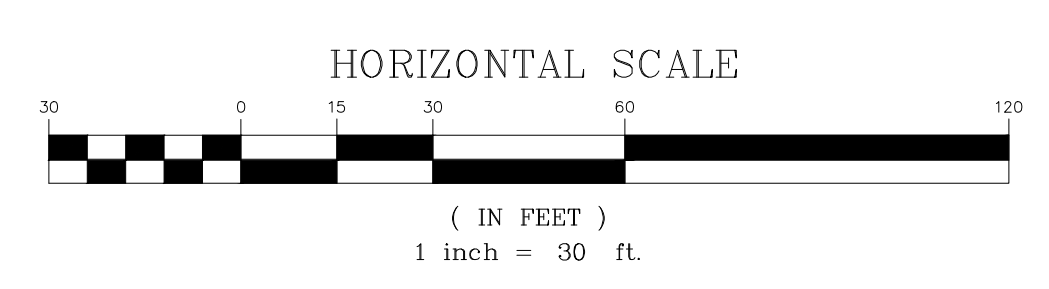
KEYNOTES:

- RELOCATE AND SALVAGE EXISTING TREE.
- INSTALL TREE PROTECTION IAW COUNTY DETAIL 4.01 ON SHEET L401.
- SAW/CLEAN CUT ROOTS TO SAVED TREES WHEN DISTURBANCE IS CLOSER THAN 1' PER INCH OF CALIPER.

SPECIAL FLOOD HAZARD AREA NOTES:

- THE SPECIAL FLOOD HAZARD AREA (SFHA) SHOWN WAS OBTAINED BY A FIELD RUN TOPOGRAPHIC SURVEY.
- NO FILL WILL BE PLACED IN THE SPECIAL FLOOD HAZARD AREA (SFHA - 100-YR FLOOD PLAIN). MINOR GRADING WILL TAKE PLACE IN THE SFHA TO ENSURE POSITIVE DRAINAGE.

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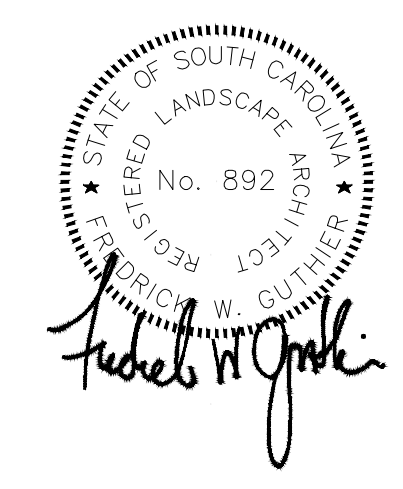
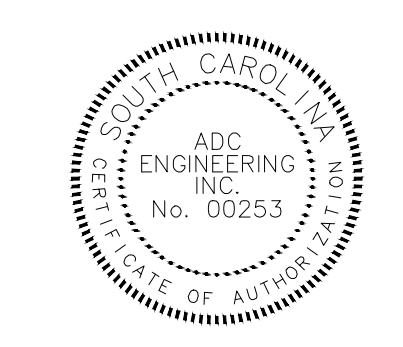
ADC ENGINEERING
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 25 WOODS LAKE ROAD, SUITE 210
 GREENVILLE, SC 29607
 ph: 864-751-9121
 WWW.ADCENGINEERING.COM

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△	REVISED PERMIT DWGS 06/06/2023
△	REVISED PERMIT DWG 07/14/2023

TREE PROTECTION PLAN - AREA 3

L106



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25 WOODS LAKE ROAD, SUITE 210
GREENVILLE, SC 29607
ph: 864-751-9121
www.adcengineering.com

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	REVISED PERMIT DWGS	06/06/2023
	REVISED PERMIT DWGS	07/14/2023

SITE PLAN - AREA 1

L201

PERMIT SET



N/F
John M. Abernethy
PIN: 5860000057
DB. 564, PG. 389
PB. 52, PG. 12
Zone: RC-II

Duke Power Co. Attn.
Property Tax Div.
PIN: 5860000002
Zone: RC-II
Area: 763,190
S.F.=17,520± Acres

Duke Power Co. Attn.
Property Tax Div.
PIN: 5860000002
Zone: RC-II
Area: 763,190
S.F.=17,520± Acres

N/F
Theofilos D. & Andra Fotopoulos
PIN: 5860000062
DB. 173, PG. 185
PB. 88, PG. 435
Zone: RC-I

N/F
Theofilos D. & Andra Fotopoulos
PIN: 5860000062
DB. 173, PG. 185
PB. 88, PG. 435
Zone: RC-I

SPECIAL FLOOD HAZARD AREA NOTES:
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KEYNOTES:

1. TIE NEW PAVEMENT INTO EXISTING PAVEMENT IAW DETAIL D/L402.
2. TIE NEW SIDEWALK INTO EXISTING SIDEWALK.
3. INSTALL NEW VERTICAL CURB IAW DETAIL D/L403.
4. TERMINATE CURB OVER 3 FEET.
5. INSTALL NEW DETECTABLE WARNING PANEL ON SIDEWALK IAW DETAIL A/L402.
6. INSTALL 4" SINGLE WHITE SOLID LINES AT 24" ON CENTER AND AT 45 DEGREES.
7. INSTALL CONCRETE SEAT WALL IAW DETAIL D/L404.
8. INSTALL CONCRETE PAVERS IAW DETAIL F/L404.
9. INSTALL NEW WHEEL STOP IAW DETAIL F/L403.
10. INSTALL NEW OUTDOOR SHOWER WITH 3 NOZZLES. SEE SPECIFICATIONS FOR MORE INFORMATION.
11. RELOCATE EXISTING SIGN. SEE DEMO PLANS FOR SIGNS TO BE RELOCATED.
12. NEW GATE KIOSK. INSTALL ON 6" CURB & CONCRETE SLAB IAW MANUFACTURER SPECIFICATIONS. SEE SPECIFICATIONS FOR MORE INFORMATION.
13. ADA CAMPSITE - INSTALL IAW DETAIL C/L404.
14. BACK-IN RIGHT CAMPSITE - INSTALL IAW DETAIL A/L404.
15. BACK-IN LEFT CAMPSITE - INSTALL IAW DETAIL B/L404.
16. PULL THROUGH CAMPSITE - INSTALL IAW DETAIL E/L404.
17. INSTALL CRUSHED SLATE TRAIL IAW DETAIL G/L404.
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21. INSTALL FLAT-TOP SPEED HUMP IAW DETAIL J/L403.
22. RELOCATE EXISTING STEEL CARPORT. SEE DEMO PLANS FOR CARPORT TO BE RELOCATED.
23. CAMPSITE ROADS ARE TO BE 18' WIDE HEAVY-DUTY ASPHALT WITH 1" OF GRAVEL ON EACH SIDE TO MAKE A 20' WIDE ONE-WAY DRIVE-AISLE.
24. INSTALL GUARD POST IAW DETAIL G/L403.
25. INSTALL WOOD STEPS AND HANDRAIL IAW DETAIL B/L405.

SIGN LEGEND:

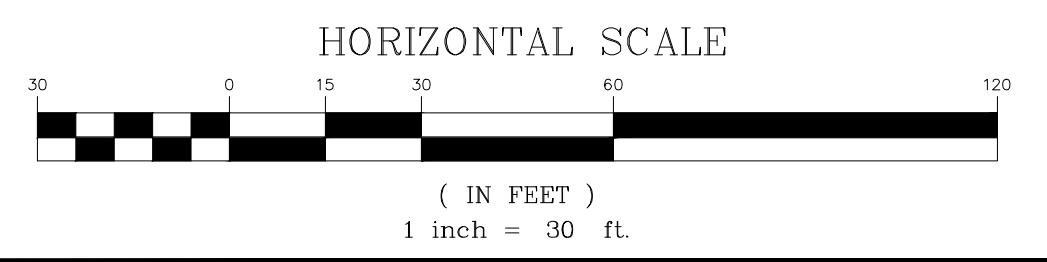
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- (G) 10 MPH SPEED LIMIT
- (H) CAMPSITES 1-19
- (I) CAMPSITES 20-37
- (J) CAMPSITE 38-46
- (K) CAMPSITES 47-82
- (L) EXIT

SITE LEGEND

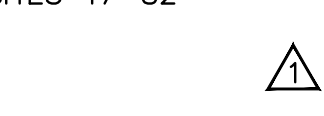
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- HEAVY DUTY ASPHALT PAVEMENT - INSTALL IAW DETAIL B/L402.
- HEAVY DUTY CONCRETE PAVEMENT - INSTALL IAW DETAIL C/L402.
- CRUSHED SLATE SURFACE - INSTALL IAW DETAIL G/L404.
- CONCRETE SIDEWALK - INSTALL IAW DETAIL A/L403.
- REINFORCED HEAVY DUTY CONCRETE - INSTALL IAW DETAIL C/L402.
- 2" ASPHALT MILL AND OVERLAY - INSTALL IAW DETAIL E/L402 AND F/L402. RESTRIPE OVERLAY TO MATCH EXISTING.

- ACCESSIBLE PARKING SPACE AND AISLE - IAW DETAIL H/L402.
- CROSSWALK (THERMOPLASTIC) - INSTALL IAW DETAILS L/L402.
- 4" SINGLE WHITE DASHED LINE / 4" WIDE
- PARKING SPACES - STRIPE WITH 4" SINGLE WHITE SOLID LINE
- NEW TRAFFIC SIGN - INSTALL PER PLAN AND IAW DETAILS C/L403, E/L403, H/L403, I/L403, & K/L403.
- PROPERTY LINE
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- INTERIOR TRAFFIC ARROW - INSTALL IAW DETAIL K/L402.
- HIGHWAY/DRIVEWAY TRAFFIC ARROW (THERMOPLASTIC) - INSTALL IAW DETAIL N/L402.

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SITE NOTES:
1. SEE SHEET L001 FOR CIVIL NOTES AND ABBREVIATIONS.





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25. INSTALL WOOD STEPS AND HANDRAIL IAW DETAIL B/L405.

26. EXISTING TRASH AND RECYCLING BINS TO BE PRESERVED AND RELOCATED.
27. INSTALL TIMBER RETAINING WALL IAW DETAIL C/L406.
28. INSTALL CHAINLINK FENCE IAW DETAIL A/L406. CORE DRILL FENCE POSTS INTO ASPHALT 1' INSIDE ASPHALT EDGE. SAW CUT ASPHALT EDGE FOR A CLEAN LINE 10 INCHES FROM FENCE LINE.
29. INSTALL CHAINLINK FENCE GATE IAW DETAIL B/L406.
30. INSTALL PICKLEBALL COURT IAW DETAIL E/L406 ON EXISTING BASKETBALL COURT SURFACE.
31. INSTALL RETAINING WALL HANDRAIL IAW DETAIL G/L406.

SITE NOTES:
 1. SEE SHEET L001 FOR CIVIL NOTES AND ABBREVIATIONS.

SIGN LEGEND:

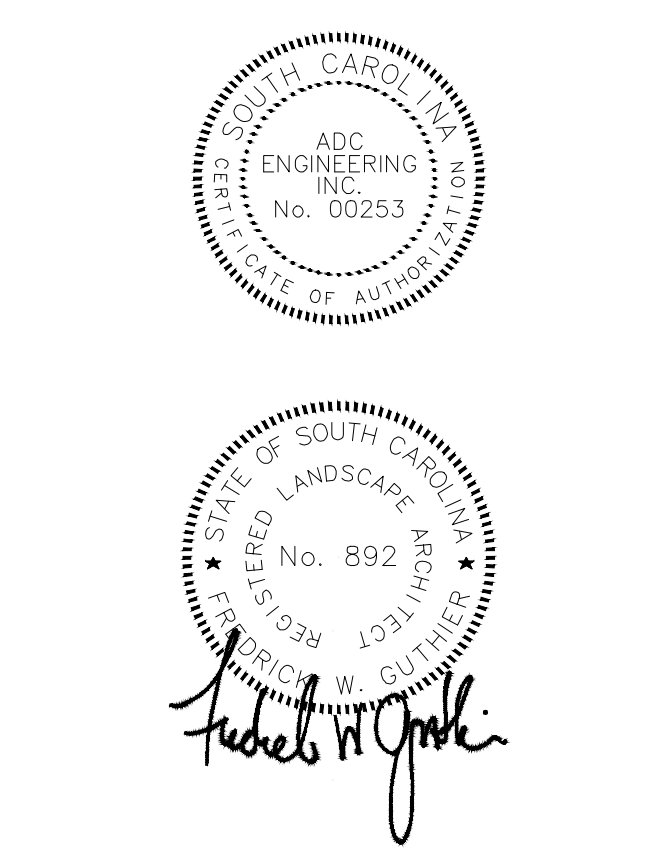
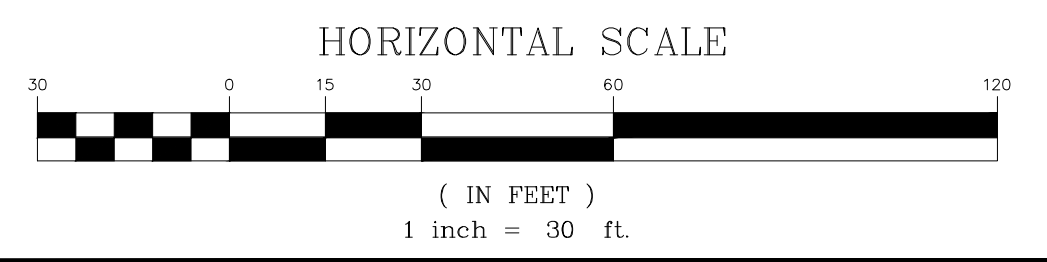
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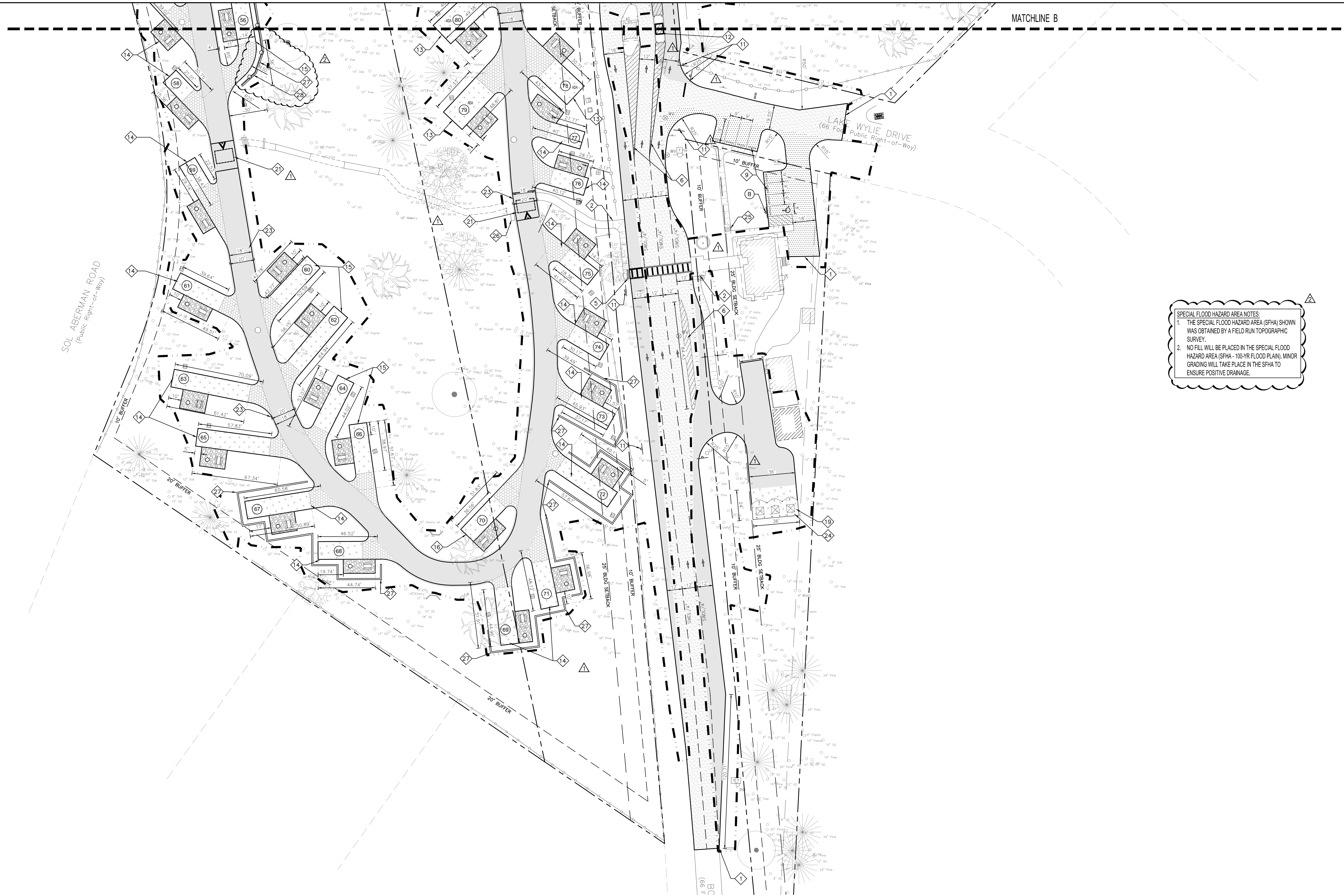
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 25 WOODS LAKE ROAD, SUITE 210
 GREENVILLE, SC 29607
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 WWW.ADCENGINEERING.COM

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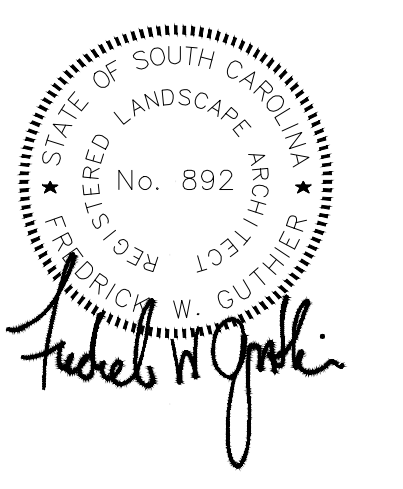
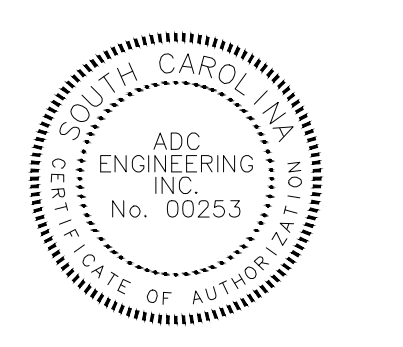
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DRAWN:	NCM
REVISION:	
(A) REVISED PERMIT DWGS	06/08/2023
(B) REVISED PERMIT DWGS	07/14/2023

SITE PLAN - AREA 2

L202



SPECIAL FLOOD HAZARD AREA NOTES
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SITE NOTES:

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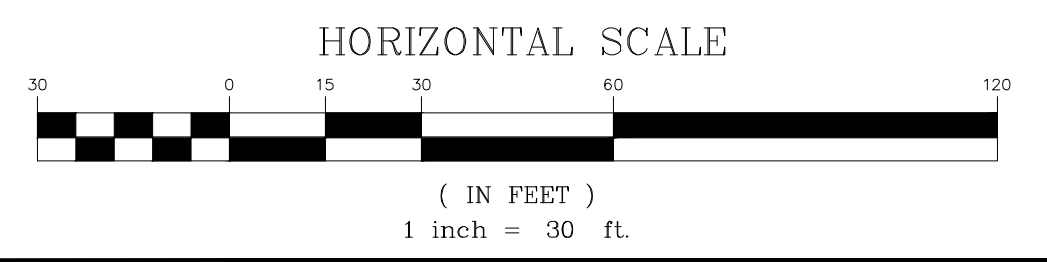
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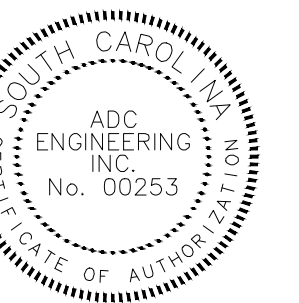
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SITE PLAN - AREA 3

L203



ADC
ENGINEERING
CHARLESTON \ COLUMBIA \ GREENVILLE
25 WOODS LAKE ROAD, SUITE 210
GREENVILLE, SC 29607
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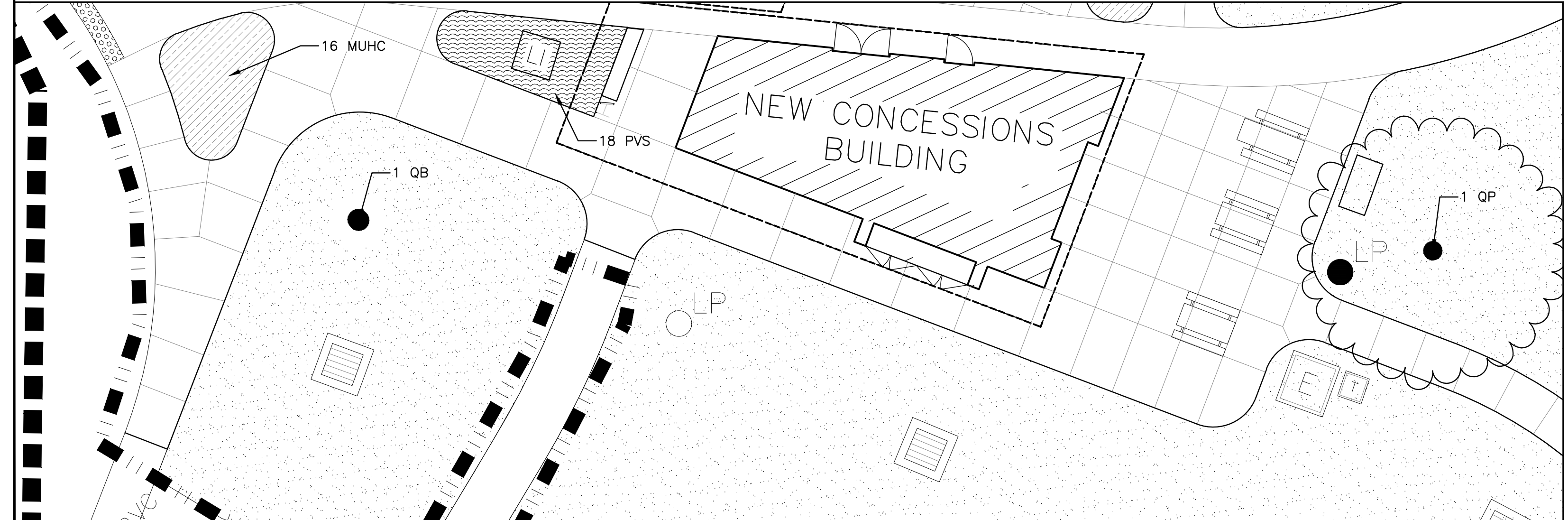
LANDSCAPE
PLANTING PLAN #1

L301



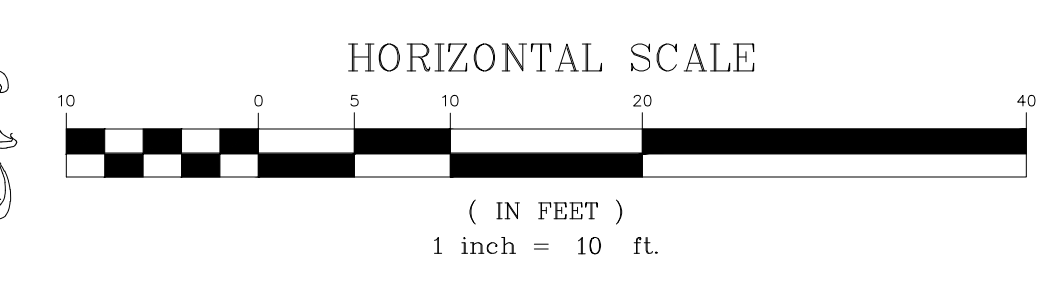
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SITE ENLARGEMENT



GENERAL PLANTING NOTES

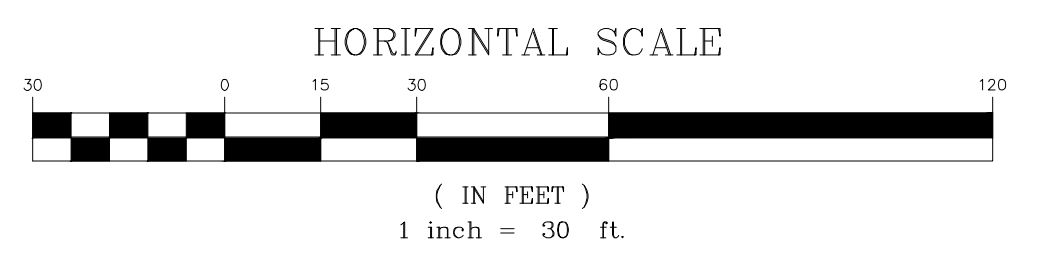
1. INSTALL METAL EDGING IN ALL AREAS WHERE PLANT BEDS ARE ADJACENT TO LAWN AREAS AS WELL AS ALL TREES LOCATED IN LAWN AREAS.
2. THE CONTRACTOR SHALL LOCATE ALL PROPOSED & EXISTING UTILITIES PRIOR TO THE BEGINNING OF WORK. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO UTILITIES THAT ARE DISTURBED AS A RESULT OF THE WORK.
3. THE CONTRACTOR SHALL MAINTAIN ALL GRASSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS, UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE & THROUGHOUT THE MAINTENANCE CONTRACT PERIOD IF APPLICABLE.
4. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION SHALL BE REPAIRED, GRADED, & GRASSED AT THE CONTRACTORS EXPENSE.
5. ALL TREE BARRICADES SHALL BE MAINTAINED AROUND THE DESIGNATED TREES AT ALL TIMES. ALL WORK IN THOSE AREAS SHALL BE DONE BY HAND.
6. PROVIDE EROSION CONTROL DEVICES WHERE EROSION KEEPS OCCURRING (SEE CIVIL PACKAGE FOR SITE EROSION CONTROL PLAN).
7. ALL PLANT BEDS SHALL RECEIVE DOUBLE-SHREDDED HARDWOOD MULCH TO A DEPTH OF 3".
8. CONTRACTOR SHALL RE-SPREAD EXISTING TOPSOIL STOCKPILED ON SITE, AND SHALL PROVIDE SUPPLEMENTAL TOPSOIL AS NEEDED. REFER TO SPECIFICATIONS FOR MORE DETAILED INFORMATION.
9. ALL PLANT BEDS SHALL RECEIVE A WEED INHIBITOR ("PREEN" OR EQUAL).

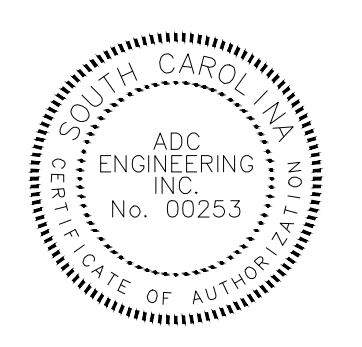


03 LANDSCAPE NOTE SCHEDULE

SYMBOL	DESCRIPTION
03-02	IRRIGATION LIMITS - CONTRACTOR SHALL PROVIDE SHOP DRAWINGS PRIOR TO INSTALLING THE SYSTEM. CONTRACTOR SHALL DESIGN SYSTEM FOR FUTURE EXPANSION BY NOT INSTALLING A PERMANENT SYSTEM.
03-03	STEEL EDGING - INSTALL METAL EDGING AS NOTED, BETWEEN PLANT BEDS AND LAWN AREA. SEE SHEET L401 FOR DETAIL.

SPECIAL FLOOD HAZARD AREA NOTES
1. THE SPECIAL FLOOD HAZARD AREA (SFHA) SHOWN WAS OBTAINED BY A FIELD RUN TOPOGRAPHIC SURVEY.
2. NO FILL WILL BE PLACED IN THE SPECIAL FLOOD HAZARD AREA (SFHA - 100-YR FLOOD PLAIN). MINOR GRADING WILL TAKE PLACE IN THE SFHA TO ENSURE POSITIVE DRAINAGE.

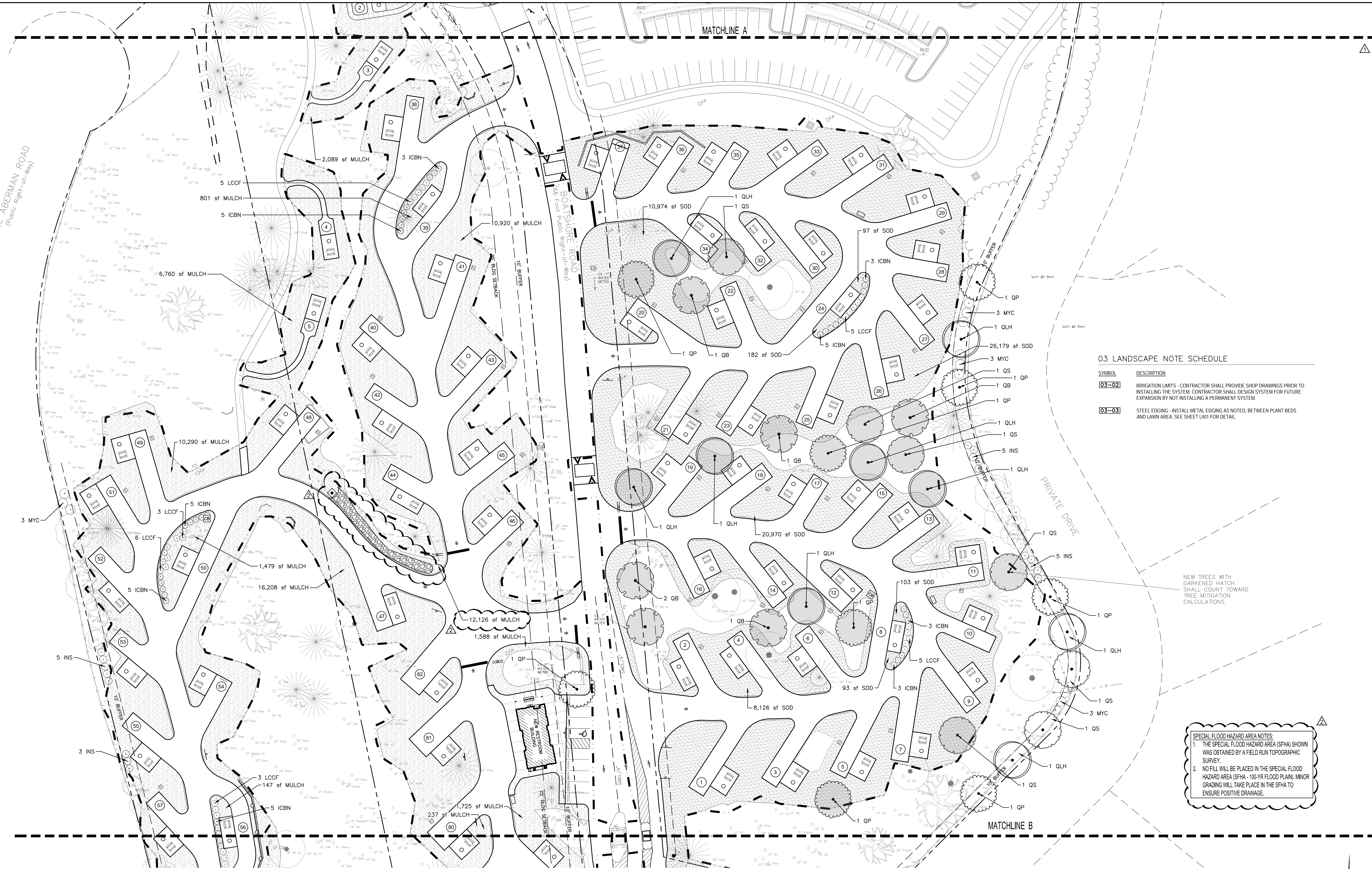




DATE:	03/09/2023
ADC PROJECT #:	21455
DESIGNED:	FWG
CHECKED:	FWG
DRAWN:	NCM
REVISION:	
	REVISED PERMIT DWGS 06/08/2023
	REVISED PERMIT DWG 07/14/2023

LANDSCAPE
PLANTING PLAN #2

L302



03 LANDSCAPE NOTE SCHEDULE

SYMBOL	DESCRIPTION
	IRRIGATION LIMITS - CONTRACTOR SHALL PROVIDE SHOP DRAWINGS PRIOR TO INSTALLING THE SYSTEM. CONTRACTOR SHALL DESIGN SYSTEM FOR FUTURE EXPANSION BY NOT INSTALLING A PERMANENT SYSTEM.
	STEEL EDGING - INSTALL METAL EDGING AS NOTED, BETWEEN PLANT BEDS AND LAWN AREA. SEE SHEET L401 FOR DETAIL.

NEW TREES WITH DARKENED HATCH SHALL COUNT TOWARD TREE MITIGATION CALCULATIONS.

SPECIAL FLOOD HAZARD AREA NOTES
 1. THE SPECIAL FLOOD HAZARD AREA (SFHA) SHOWN WAS OBTAINED BY A FIELD RUN TOPOGRAPHIC SURVEY.
 2. NO FILL WILL BE PLACED IN THE SPECIAL FLOOD HAZARD AREA (SFHA - 100-YR FLOOD PLAIN). MINOR GRADING WILL TAKE PLACE IN THE SFHA TO ENSURE POSITIVE DRAINAGE.

YORK COUNTY REQUIREMENTS:

TREE MITIGATION REQUIREMENT FOR REMOVAL OF GRAND TREES (154-200.D (4))
 4) LAND DEVELOPMENT ACTIVITY THAT RESULTS IN THE REMOVAL OF GRAND TREES, INCLUDING THOSE SUBJECT TO ADMINISTRATIVE APPROVAL OR WAIVER, SHALL PROVIDE REPLACEMENT OR MITIGATION BY PLANTING OF NEW TREES EQUAL TO AT LEAST 75% OF THE CUMULATIVE DBH OF THE TREES REMOVED.
 * (36" DBH + 24" DBH + 24" DBH) = CUMULATIVE DBH
 * (75% OF CUMULATIVE 84" DBH) = 21 NEW OAKS PLANTED @ 3" DBH

LANDSCAPING REQUIREMENTS:

1) TREE MITIGATION NOTES -

LOCATION	GRAND TREE TO BE REMOVED	REQUIREMENTS	PROPOSED	TOTAL
AREA 1 - (RESTROOM PLAZA)	36" COTTONWOOD	75% OF 36" = 27" DBH	OAKS PLANTED @ 3" DBH	9 NEW OAKS
AREA 2 - (CAMP SITE 4)	24" BIRCH TREE	75% OF 24" = 18" DBH	OAKS PLANTED @ 3" DBH	6 NEW OAKS
AREA 2 - (CAMP SITE 4)	24" BIRCH TREE	75% OF 24" = 18" DBH	OAKS PLANTED @ 3" DBH	6 NEW OAKS

BUFFER REQUIREMENTS:

LOCATION	BUFFER TYPE	REQUIREMENTS	PROPOSED	EXISTING	TOTAL	LENGTH
WEST PROPERTY LINE - SOL ALBERMAN RD.	TYPE "A" BUFFERYARD	10 CANOPY 44 SHRUBS	0 CANOPY 11 LARGE EVERGREENS	12 0	12 11	310.58'
EAST PROPERTY LINE - TO PRIVATE DRIVE	TYPE "A" BUFFERYARD	16 CANOPY 74 SHRUBS	9 CANOPY 19 LARGE EVERGREENS	7 0	16 19	527.82'

TYPE "A" BUFFER
 3 CANOPY TREES & 14 SHRUBS / 100 LF.
 CANOPY TREES PLANTED @ 2" CAL AND 30% OPACITY.
 LARGE EVERGREEN SHRUBS PLANTED AT 7 GAL. & 36" IN HEIGHT.

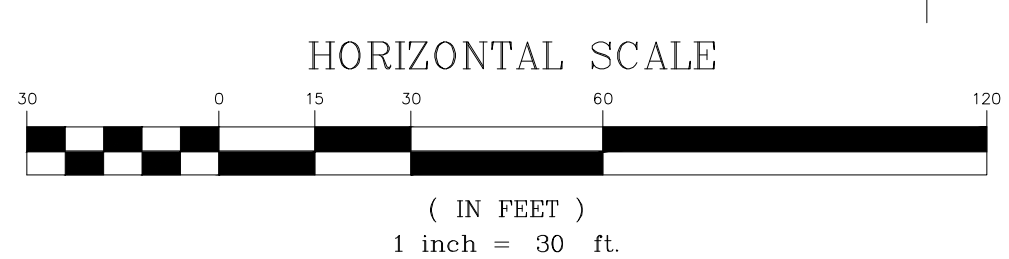
NOTE
 QUANTITY OF PROPOSED SHRUBS AND UNDERSTORY TREES SUBJECT TO REDUCTION IF EXISTING SHRUBS AND UNDERSTORY TREES WITH BUFFER AREAS ARE SAVED AT THE TIME OF THE CLEARING. EXACT QUANTITIES AND SITE CONDITIONS TO BE REVIEWED WITH PLANNING STAFF.

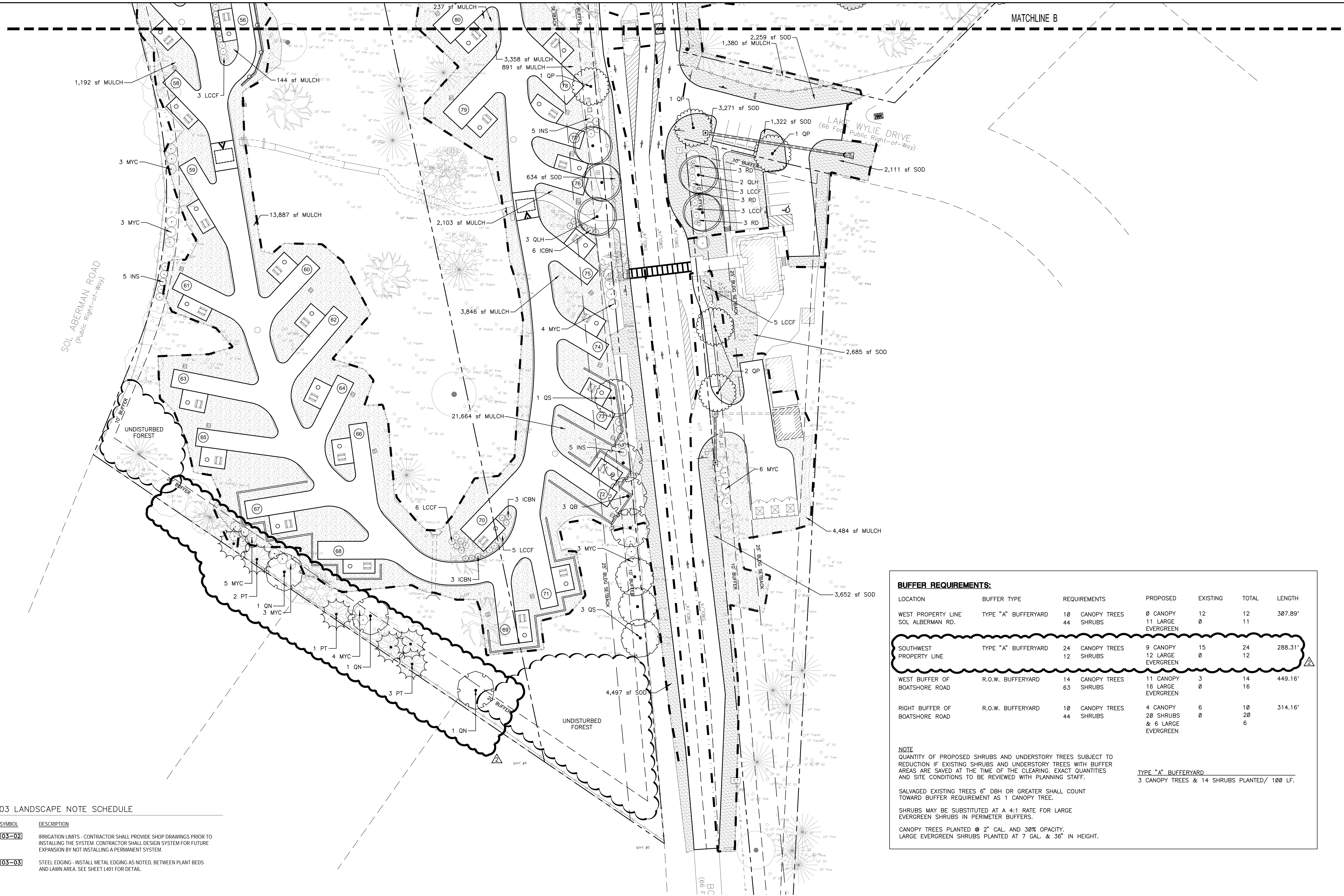
SHRUBS MAY BE SUBSTITUTED AT A 4:1 RATE FOR LARGE EVERGREEN SHRUBS IN PERIMETER BUFFERS.

GENERAL PLANTING NOTES

- INSTALL METAL EDGING IN ALL AREAS WHERE PLANT BEDS ARE ADJACENT TO LAWN AREAS AS WELL AS ALL TREES LOCATED IN LAWN AREAS.
- THE CONTRACTOR SHALL LOCATE ALL PROPOSED & EXISTING UTILITIES PRIOR TO THE BEGINNING OF WORK. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO UTILITIES THAT ARE DISTURBED AS A RESULT OF THE WORK.
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- PROVIDE EROSION CONTROL DEVICES WHERE EROSION KEEPS OCCURRING (SEE CIVIL PACKAGE FOR SITE EROSION CONTROL PLAN).
- ALL PLANT BEDS SHALL RECEIVE DOUBLE-SHREDDED HARDWOOD MULCH TO A DEPTH OF 3".
- CONTRACTOR SHALL RE-SPREAD EXISTING TOPSOIL STOCKPILED ON SITE, AND SHALL PROVIDE SUPPLEMENTAL TOPSOIL AS NEEDED. REFER TO SPECIFICATIONS FOR MORE DETAILED INFORMATION.
- ALL PLANT BEDS SHALL RECEIVE A WEED INHIBITOR ("PREEN" OR EQUAL).

FOR YORK COUNTY USE ONLY
APPROVED
 Subject to York County Code of Ordinances by initials and date below:
 Reviewer: _____ Date: _____
 Engineering: _____
 Eco Comp: _____
 Changes/Alterations to this plan may void permit # _____





03 LANDSCAPE NOTE SCHEDULE

SYMBOL	DESCRIPTION
03-02	IRRIGATION LIMITS - CONTRACTOR SHALL PROVIDE SHOP DRAWINGS PRIOR TO INSTALLING THE SYSTEM. CONTRACTOR SHALL DESIGN SYSTEM FOR FUTURE EXPANSION BY NOT INSTALLING A PERMANENT SYSTEM.
03-03	STEEL EDGING - INSTALL METAL EDGING AS NOTED, BETWEEN PLANT BEDS AND LAWN AREA. SEE SHEET L401 FOR DETAIL.

GENERAL PLANTING NOTES

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9. ALL PLANT BEDS SHALL RECEIVE A WEED INHIBITOR ("PREEN" OR EQUAL).

BUFFER REQUIREMENTS:

LOCATION	BUFFER TYPE	REQUIREMENTS	PROPOSED	EXISTING	TOTAL	LENGTH
WEST PROPERTY LINE SOL ALBERMAN RD.	TYPE "A" BUFFERYARD	10 CANOPY TREES	0 CANOPY	12	12	307.89'
		44 SHRUBS	11 LARGE EVERGREEN	0	11	
SOUTHWEST PROPERTY LINE	TYPE "A" BUFFERYARD	24 CANOPY TREES	9 CANOPY	15	24	288.31'
		12 SHRUBS	12 LARGE EVERGREEN	0	12	
WEST BUFFER OF BOATSHORE ROAD	R.O.W. BUFFERYARD	14 CANOPY TREES	11 CANOPY	3	14	449.16'
		63 SHRUBS	16 LARGE EVERGREEN	0	16	
RIGHT BUFFER OF BOATSHORE ROAD	R.O.W. BUFFERYARD	10 CANOPY TREES	4 CANOPY	6	10	314.16'
		44 SHRUBS	20 SHRUBS & 6 LARGE EVERGREEN	0	20	

NOTE
QUANTITY OF PROPOSED SHRUBS AND UNDERSTORY TREES SUBJECT TO REDUCTION IF EXISTING SHRUBS AND UNDERSTORY TREES WITH BUFFER AREAS ARE SAVED AT THE TIME OF THE CLEARING. EXACT QUANTITIES AND SITE CONDITIONS TO BE REVIEWED WITH PLANNING STAFF.

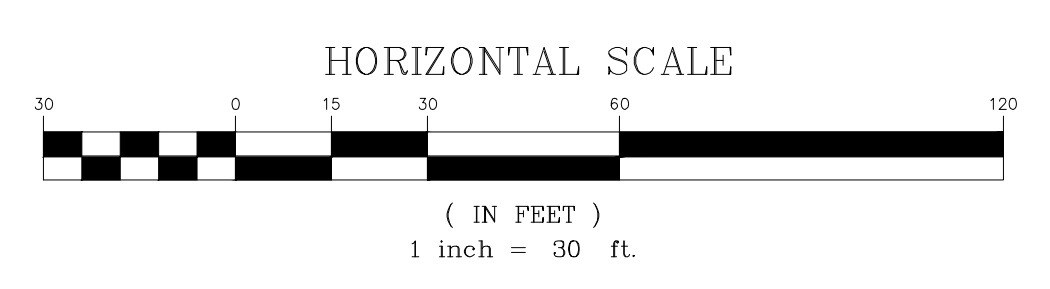
SALVAGED EXISTING TREES 6" DBH OR GREATER SHALL COUNT TOWARD BUFFER REQUIREMENT AS 1 CANOPY TREE.

SHRUBS MAY BE SUBSTITUTED AT A 4:1 RATE FOR LARGE EVERGREEN SHRUBS IN PERIMETER BUFFERS.

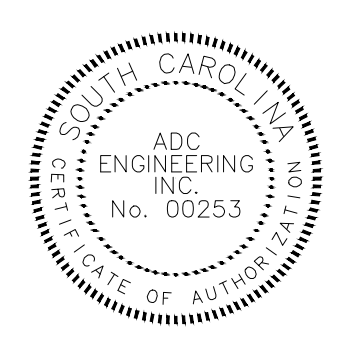
CANOPY TREES PLANTED @ 2' CAL. AND 30% OPACITY.
LARGE EVERGREEN SHRUBS PLANTED AT 7 GAL. & 36" IN HEIGHT.

TYPE "A" BUFFERYARD
3 CANOPY TREES & 14 SHRUBS PLANTED/ 100 LF.

SPECIAL FLOOD HAZARD AREA NOTES
1. THE SPECIAL FLOOD HAZARD AREA (SFHA) SHOWN WAS OBTAINED BY A FIELD RUN TOPOGRAPHIC SURVEY.
2. NO FILL WILL BE PLACED IN THE SPECIAL FLOOD HAZARD AREA (SFHA - 100-YR FLOOD PLAIN). MINOR GRADING WILL TAKE PLACE IN THE SFHA TO ENSURE POSITIVE DRAINAGE.



FOR YORK COUNTY USE ONLY
APPROVED
Subject to York County Code of Ordinances by initials and date below.
Reviewer Date
Zoning: _____
Engineering: _____
Erect Comp: _____
Changes/Alterations to this plan may void permit #.



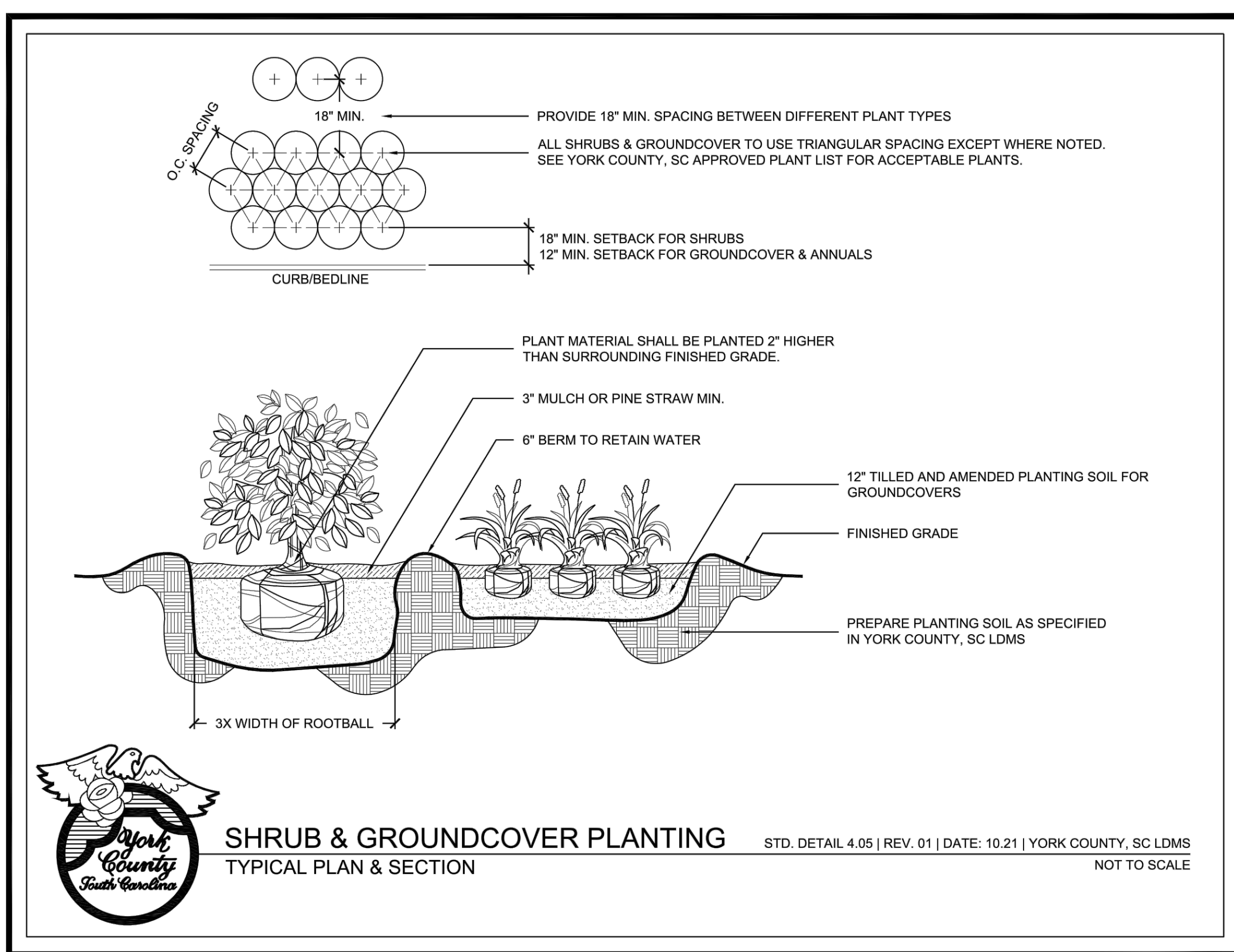
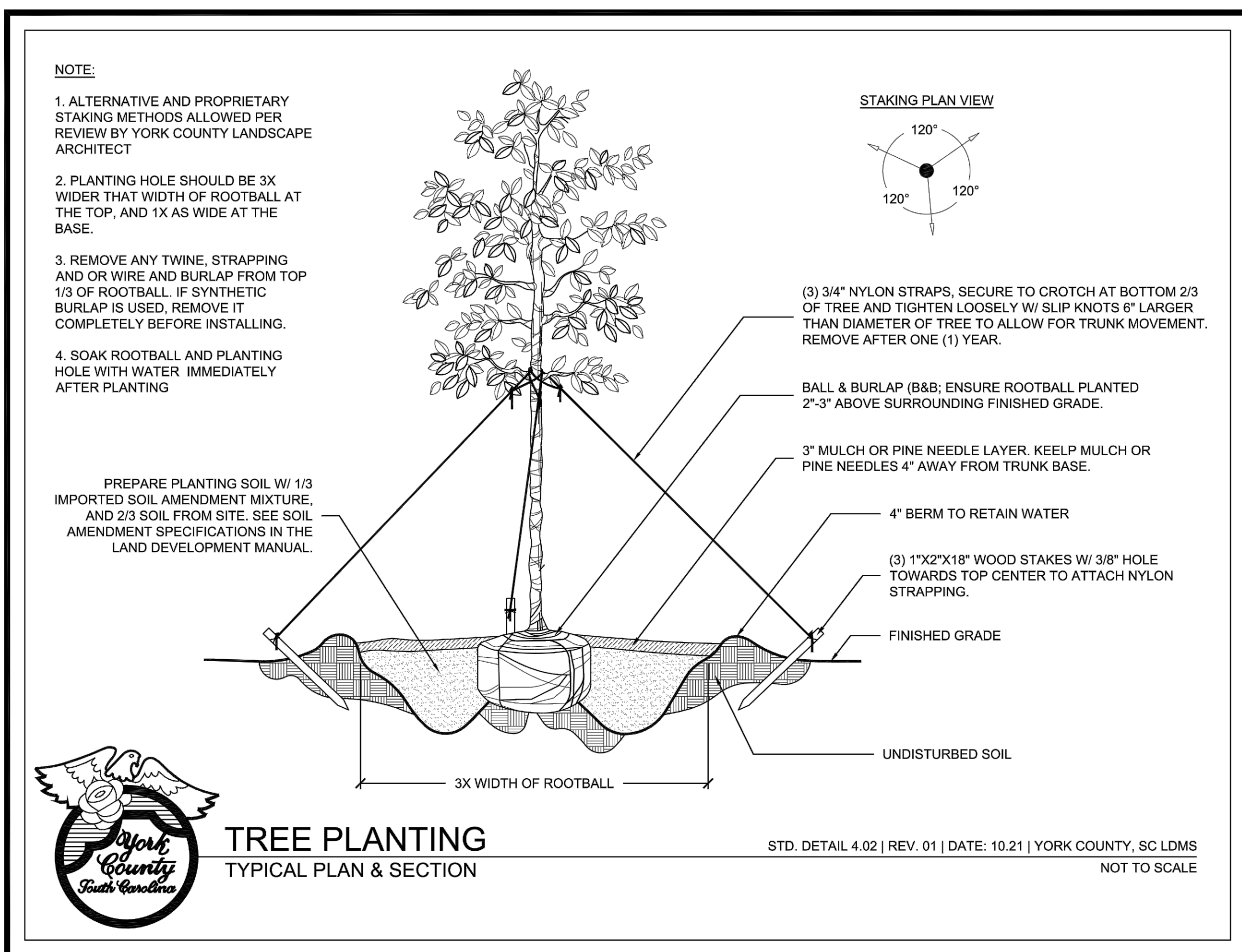
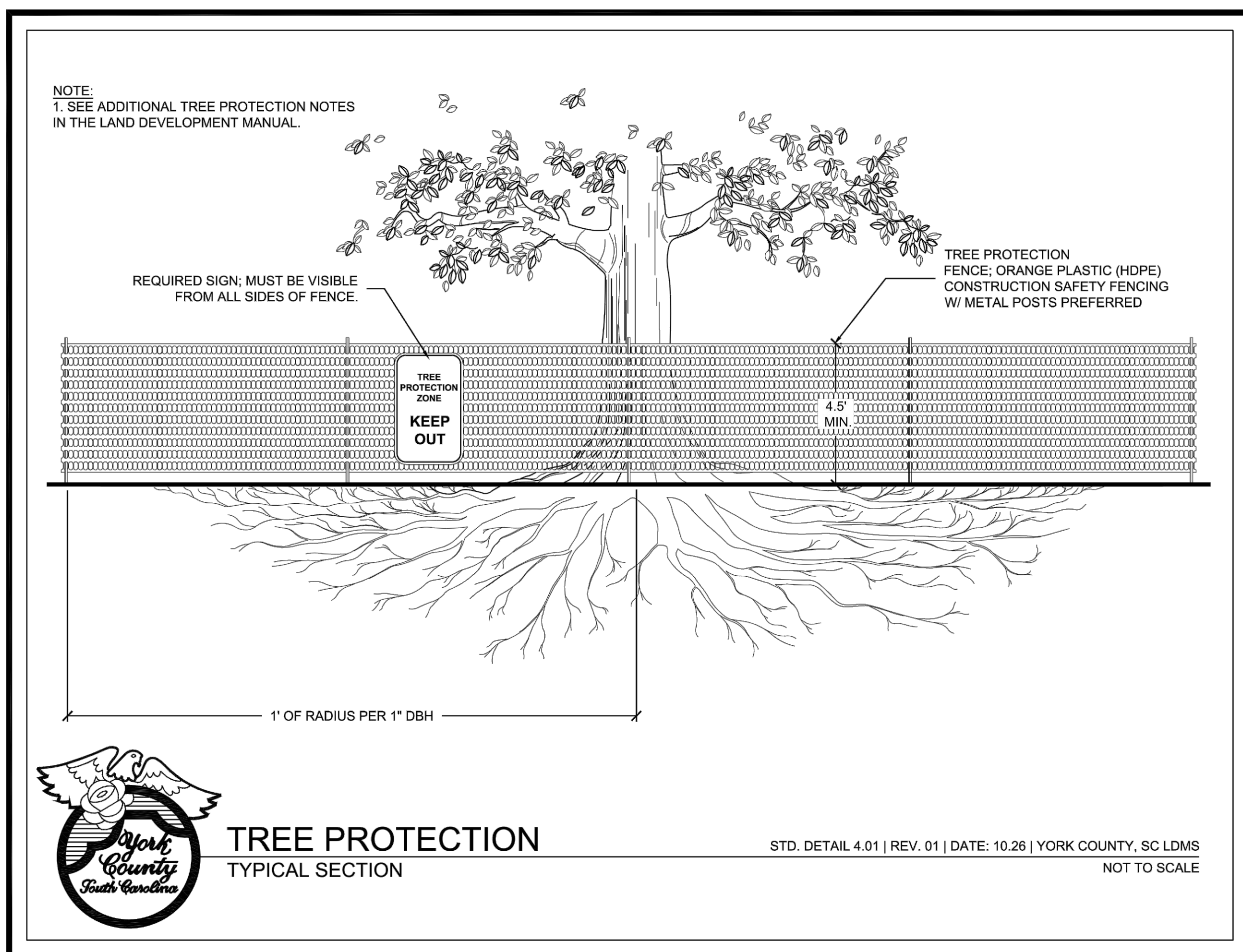
ADC ENGINEERING
CHARLESTON \ COLUMBIA \ GREENVILLE
25 WOODS LAKE ROAD, SUITE 210
GREENVILLE, SC 29607
ph: 864-751-9121
WWW.ADCENGINEERING.COM

811 CONTRACTOR SHALL CONTACT 811 (1-888-721-7871) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
Know what's below. Call before you dig.

DATE:	03/09/2023
ADC PROJECT #:	21455
DESIGNED:	FWG
CHECKED:	FWG
DRAWN:	NCM
REVISION:	
△	REVISED PERMIT DWGS 06/08/2023
△	REVISED PERMIT DWGS 07/14/2023

LANDSCAPE PLANTING PLAN #3

L303



PLANT SCHEDULE						
CANOPY TREES	CODE	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	CALIPER	QTY
	QB	QUERCUS BICOLOR / SWAMP WHITE OAK	B&B	10 MIN. HT.	2" CAL. MIN.	11
	QLH	QUERCUS LYRATA 'HIGHBEAM' / HIGHBEAM OVERCUP OAK	B&B	10 MIN. HT.	2" CAL. MIN.	14
	QN	QUERCUS NUTTALLII / NUTTALL OAK	B&B	10 MIN. HT.	2" CAL. MIN.	3
	QP	QUERCUS PHellos / WALLOW OAK	B&B	10 MIN. HT.	2" CAL. MIN.	15
	QS	QUERCUS SHUMARDII / SHUMARD OAK	B&B	10 MIN. HT.	2" CAL. MIN.	11
LARGE EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	CALIPER	QTY
	PT	PINUS TAEDA / LOBLOLLY PINE	B&B	10 MIN. HT.	2" CAL. MIN.	6
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPACING	QTY
	ICBN	ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY	CONTAINER	24" MIN. HT.	@ 5' O.C.	49
	LCCF	LOROPETALUM CHINENSE 'CRIMSON FIRE' / CRIMSON FIRE LOROPETALUM	CONTAINER	18" MIN. HT.	@ 5' O.C.	52
	RD	ROSA X RADTKOPINK / PINK DOUBLE KNOCK OUT ROSE	CONTAINER	24" MIN. HT.	@ 3' O.C.	9
LARGE EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPACING	QTY
	INS	ILEX X NELLIE R. STEVENS / NELLIE R. STEVENS HOLLY	CONTAINER	36" MIN. HT.	@ 6' O.C.	33
	MYC	MYRICA CERIFERA / WAX MYRTLE	CONTAINER	36" MIN. HT.	@ 8' O.C.	43
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONTAINER	SIZE	SPACING	QTY
	S0D2	CYNODON DACTYLON / BERMUDA SOD 2 (ALTERNATIVE SOD AREAS)	SOD	SOD		25,262 SF
	SOD	CYNODON DACTYLON / BERMUDA SOD	SOD	SOD		104,842 SF
	MULCH	HARDWOOD MULCH / MULCH	MULCH	1 BALE	PER 40 SQ FT	121,040 SF
	JUEF	JUNCUS EFFUSUS / SOFT RUSH	CONTAINER	1 GAL.	@ 30" O.C.	52
	MUHC	MUHLENBERGIA CAPILLARIS / PINK MUHLY	CONTAINER	1 GAL.	@ 3' O.C.	90
	PVS	PANICUM VIRGATUM SHENANDOAH / SWITCH GRASS	CONTAINER	1 GAL.	@ 3' O.C.	18

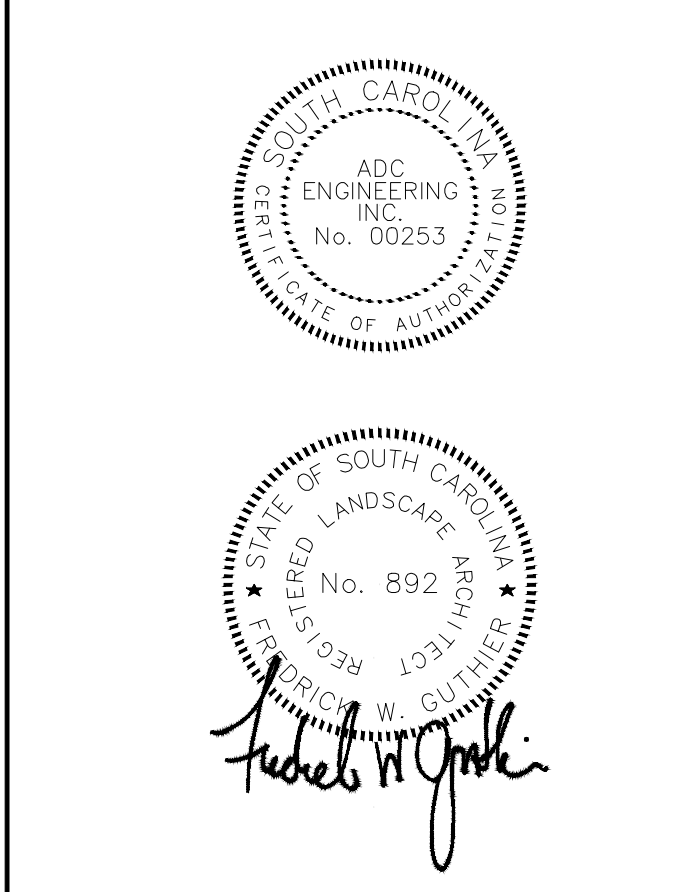
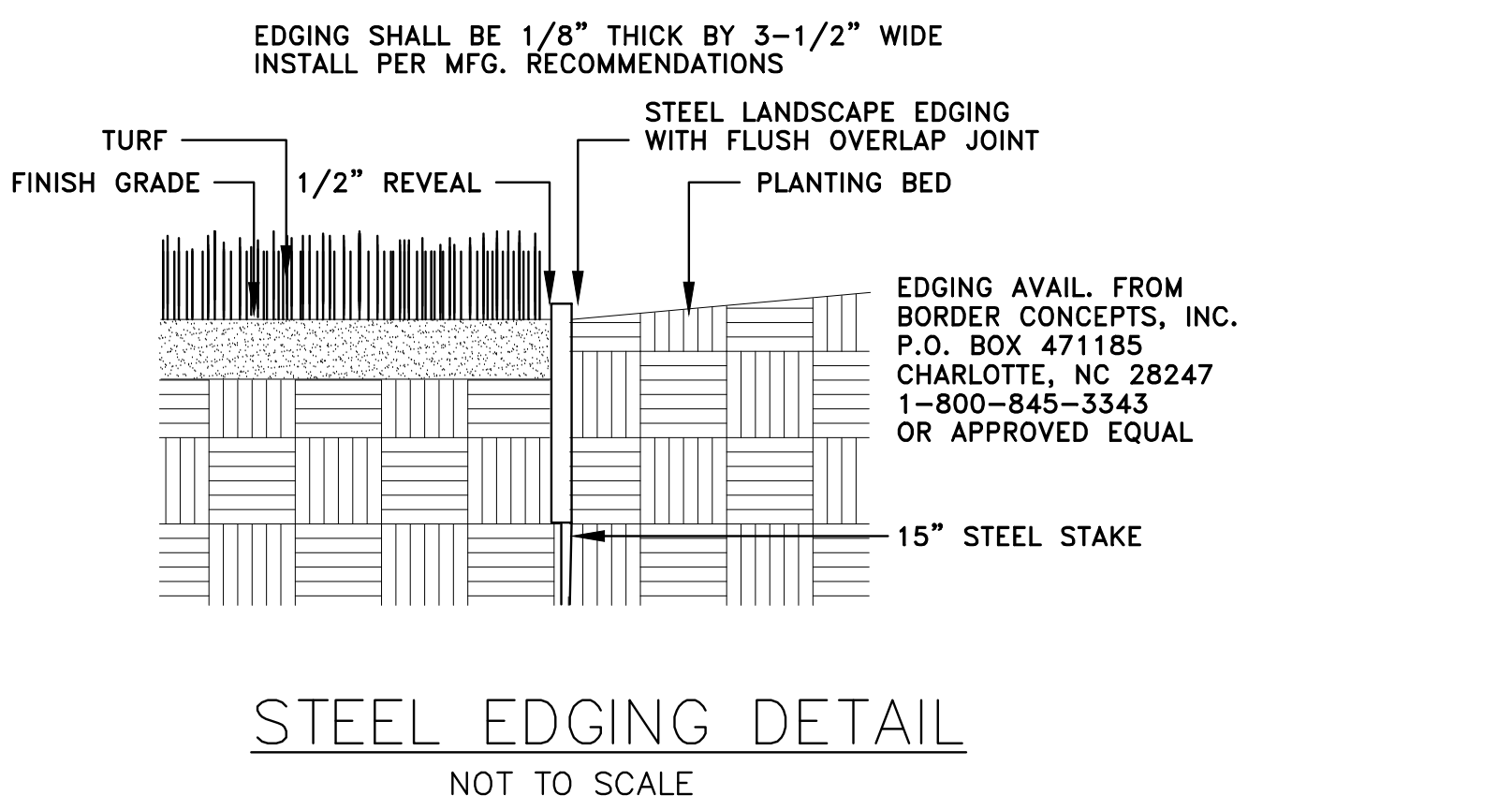
LANDSCAPE PLANT MATERIAL SHALL BE #1 QUALITY, AND MEET OR EXCEED ANLA STANDARDS. LANDSCAPE ARCHITECT SHALL REVIEW ALL PLANT MATERIAL PRIOR TO INSTALLATION. CONTACT LANDSCAPE ARCHITECT 48 HOURS PRIOR TO DELIVERY TO SCHEDULE PLANT REVIEW ON SITE. LANDSCAPE ARCHITECT/ OWNER RESERVES THE RIGHT TO REJECT AND PLANT MATERIAL DEEMED UNFIT AND DOES NOT MEET THE HIGHEST STANDARDS.

- GENERAL NOTES**
1. THE CONTRACTOR IS ADVISED TO VISIT THE SITE AND VERIFY FIELD CONDITIONS.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES. THE CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS REQUIRED FOR THE PERFORMANCE OF HIS WORK.
 3. ALL PLANT BEDS SHALL BE MULCHED WITH A MINIMUM OF 3" MULCH. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM NEW CONSTRUCTION.
 4. QUANTITIES LISTED ARE AN ESTIMATE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR MUST VERIFY COUNT FROM PLAN. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. COMPENSATION BY OWNER SHALL NOT BE IN ORDER FOR MISCALCULATIONS. SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL OF LANDSCAPE ARCHITECT AND OWNER.
 5. EXISTING ECOLOGY AND AESTHETICS WILL OFTEN CAUSE ADJUSTMENT OF THESE PLANS TO FIT SITE. STAKE OUT BY CONTRACTOR AND FIELD ADJUSTMENT BY LANDSCAPE ARCHITECT ARE ABSOLUTELY NECESSARY.
 6. ALL PLANT MATERIAL SHALL BE GUARANTEED BY CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND ACCEPTANCE BY OWNER.
 7. THE LOCATION OF ALL ABOVE GROUND AND BELOW GROUND UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. DAMAGE TO UTILITIES AND PERSONAL INJURY AS A RESULT OF THE FAILURE TO DETERMINE AND/OR RESPECT UTILITY LOCATIONS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. UTILITY LOCATIONS ARE NOT SHOWN ON THESE PLANS.

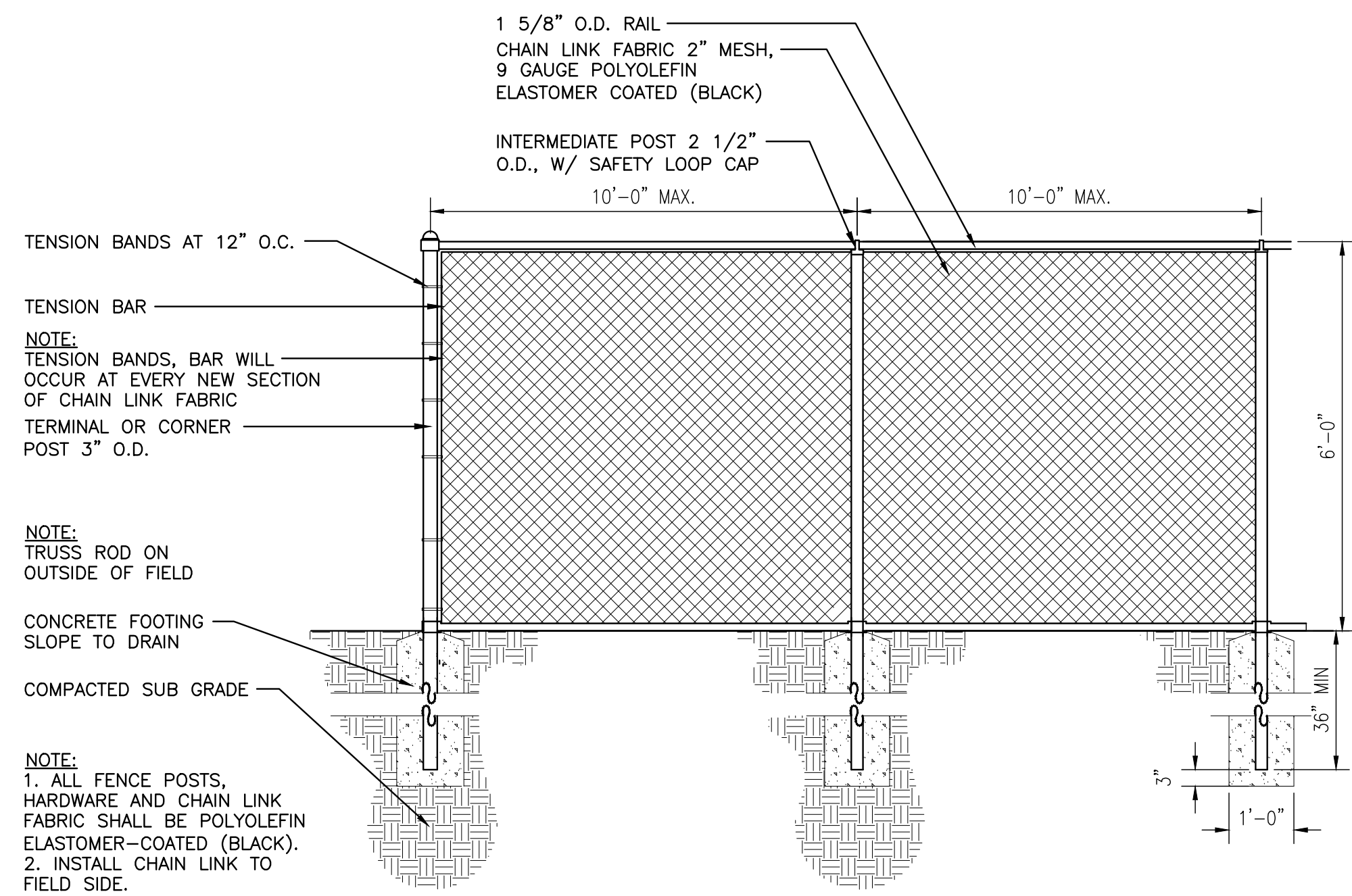
- TREE PROTECTION**
- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING DAMAGE TO EXISTING TREES LOCATED ALONG ACCESS AND HALL ROADS, AND ADJACENT TO OR WITHIN BUILDING CONSTRUCTION SITES AND MATERIAL AND EQUIPMENT STORAGE AREAS. THOSE TREES TO BE SAVED SHALL BE FLAGGED BY THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- B. CONTRACTOR WILL PROVIDE NECESSARY BARRICADES AND FENCING SO AS TO DIVERT AND DIRECT VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM TREES. THE BARRICADES AND FENCING TYPE SHALL BE AS SHOWN ON THE CIVIL CONSTRUCTION DOCUMENTS.
- C. MATERIALS SHALL NOT BE STORED, NOR VEHICLES PARKED WITHIN THE DRIP-LINE OF THE TREES UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT OR OWNER.
- D. VEHICLES AND EQUIPMENT SHALL NOT BE DRIVEN OVER EXPOSED ROOTS AND ROADS SHALL NOT BE LOCATED WITHIN THE DRIP-LINE OF TREES UNLESS APPROVAL IS OBTAINED FROM THE LANDSCAPE ARCHITECT.
- E. ALL TREES INTENDED TO BE SAVED WHICH HAVE BEEN DAMAGED DUE TO CONSTRUCTION PRACTICES, SHALL BE INSPECTED AND TREATED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.
- F. NO CUTTING OR FILLING OF EXISTING GRADE, TRENCHING, OR PRUNING SHALL OCCUR UNLESS SPECIFICALLY DIRECTED BY THE CONSTRUCTION DOCUMENTS, OR THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT AND OWNER.

- IRRIGATION NOTES**
1. THE CONTRACTOR IS ADVISED TO VISIT THE SITE AND VERIFY FIELD CONDITIONS.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES. THE CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS REQUIRED FOR THE PERFORMANCE OF HIS WORK.
 3. ALL PLANTED AREAS SHALL BE IRRIGATED BY AN AUTOMATIC LANDSCAPE IRRIGATION SYSTEM. SYSTEM SHALL BE DESIGNED BY IRRIGATION CONTRACTOR. SHOP DRAWINGS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL.
 4. LANDSCAPE IRRIGATION SYSTEM SHALL PULL WATER FROM LAKE WYLIE. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF PUMP, PUMP ENCLOSURE, INTAKE LINE, AND FILTER. SEE SPECIFICATIONS FOR MORE INFORMATION. IRRIGATION CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE GENERAL CONTRACTOR.
 5. PIPE SLEEVES SHALL BE INSTALLED BY IRRIGATION CONTRACTOR AS NECESSARY. COORDINATE WITH GENERAL CONTRACTOR.
 6. IRRIGATION TIME CLOCK LOCATION SHALL BE COORDINATED WITH ARCHITECT AND LANDSCAPE ARCHITECT.
 7. ALL CATEGORIES OF EQUIPMENT (E.G. - VALVES, HEADS, ETC.) SHALL BE OF A SINGLE MANUFACTURER.
 8. PROVIDE MINI-CLICK (OR APPROVED EQUAL) RAIN SENSOR AND INTEGRATE WITH CONTROLLER.
 9. EXISTING ECOLOGY AND AESTHETICS WILL OFTEN CAUSE ADJUSTMENT OF THESE PLANS TO FIT SITE. STAKE OUT BY CONTRACTOR AND FIELD ADJUSTMENT ARE ABSOLUTELY NECESSARY.
 10. IRRIGATION SYSTEM SHALL BE MAINTAINED AND GUARANTEED BY CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND ACCEPTANCE BY OWNER.
 11. THE LOCATION OF ALL ABOVE GROUND AND BELOW GROUND UTILITIES IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. DAMAGE TO UTILITIES AND PERSONAL INJURY AS A RESULT OF THE FAILURE TO DETERMINE AND/OR RESPECT UTILITY LOCATIONS IS THE SOLE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. UTILITY LOCATIONS ARE NOT SHOWN ON THESE PLANS.
 12. CONTRACTOR SHALL PROVIDE 3 COPIES OF SYSTEM AS-BUILTS TO OWNER UPON COMPLETION.

- YORK COUNTY STANDARD NOTES**
- 4.6.6.4. SOIL AMENDMENT STANDARD NOTES**
- A. ALL PROPOSED PLANT MATERIAL SHALL INCLUDE AN IMPORTED SOIL AMENDMENT MIXTURE. IT SHALL BE PLACED IN THE PLANTING HOLE OF EACH PROPOSED PLANT, AND SHALL BE TILLED WITH THE SITE SOIL AT A RATIO OF 1/3 IMPORTED SOIL AMENDMENT MIXTURE AND 2/3 SITE SOIL.
- B. THE IMPORTED SOIL AMENDMENT MIXTURE SHALL CONTAIN:
1. BALANCED TEXTURED SOIL. CLAY CONTENT SHALL NOT EXCEED FORTY-PERCENT (40%).
 2. pH VALUE BETWEEN 5.5 AND 7.0
 3. ORGANIC MATTER PERCENT BETWEEN 2-5% DRY WEIGHT.
- C. THE IMPORTED SOIL AMENDMENT MIXTURE SHALL NOT CONTAIN ANY SOIL CLODS LARGER THAN TWO-INCHES (2") IN DIAMETER AND BE FREE AND CLEAR OF ROCKS OVER 1/2 INCH IN DIAMETER, AND FREE OF CONCRETE, TRASH, WEEDS AND SEEDS OF WEEDY SPECIES, PETROLEUM PRODUCTS, STICKS, ROOTS, AND TOXIC CHEMICALS OR OTHER DETRIMENTAL MATERIALS AND SUBSTANCES CONDUCTIVE TO SOIL PLANT AND HEALTH. THE SOIL SHALL ALSO BE FREE AND CLEAR OF FOUND SOIL-BORNE DISEASES.
- 4.6.6.5. WATERING STANDARD NOTES**
- A. ESTABLISHMENT WATERING PERIOD
1. ESTABLISHMENT PERIOD MINIMUM OF 6 MONTHS, BUT UP TO 1 YEAR AFTER PLANTINGS
 - A. 1ST 4 WEEKS - 3 WATERINGS PER WEEK
 - B. 2ND 4 WEEKS - 2 WATERINGS PER WEEK
 - C. UNTIL ESTABLISHMENT - WATERING PER WEEK
 2. WATER APPLIED PER PLANT PER WATERING DURING ESTABLISHMENT PERIOD
 - A. 1 GALLON PLANTS - 2 GALLONS OF WATER
 - B. 3 GALLON PLANTS - 5 GALLONS OF WATER
 - C. 7 GALLON PLANTS - 8 GALLONS OF WATER
 - D. B&B TREES - 20 GALLONS OF WATER



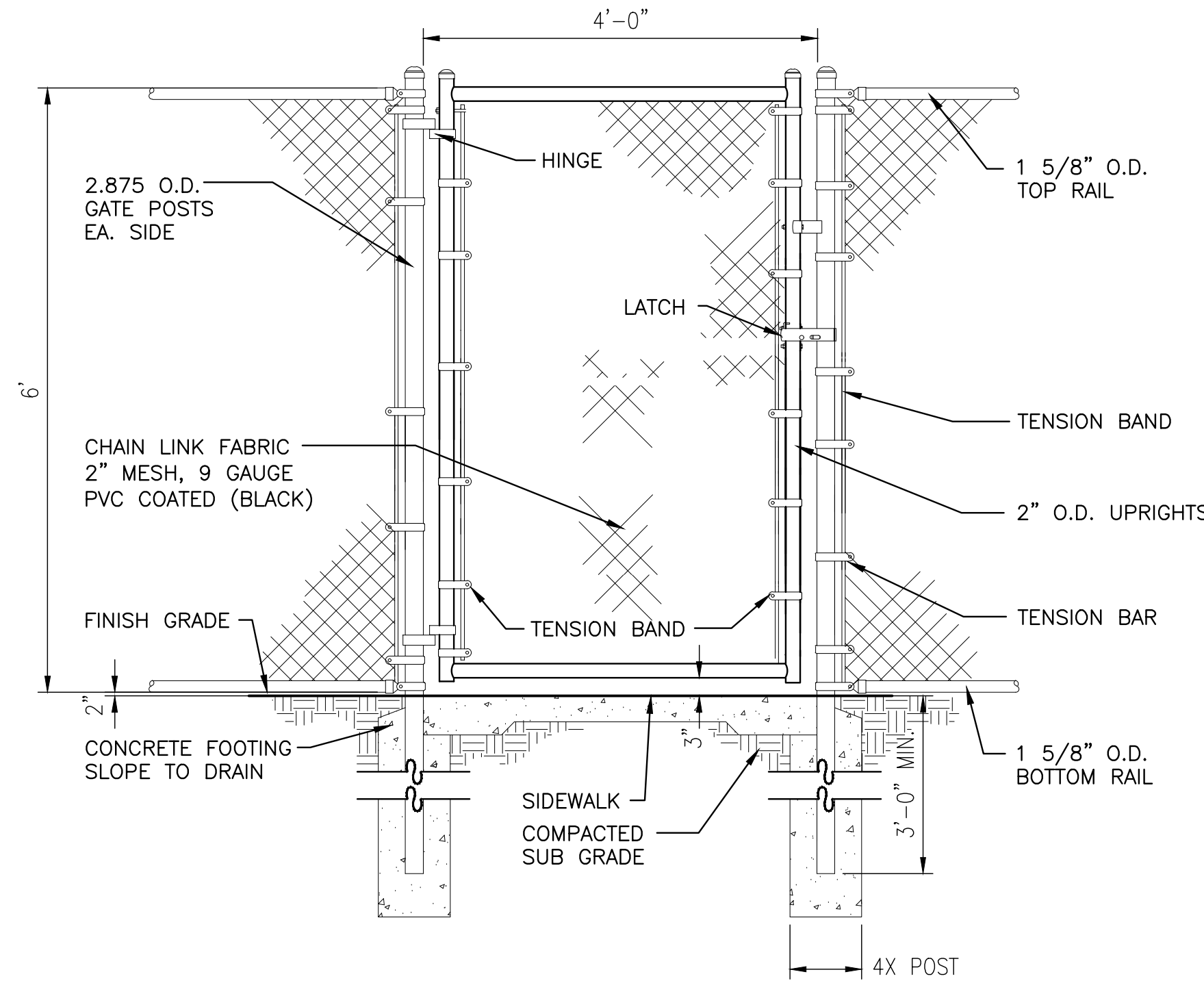
DATE:	03/09/2023
ADC PROJECT #:	21455
DESIGNED:	FWG
CHECKED:	FWG
DRAWN:	NCM
REVISION:	
	REVISED PERMIT SET 06/06/2023
	REVISED PERMIT SET 07/14/2023



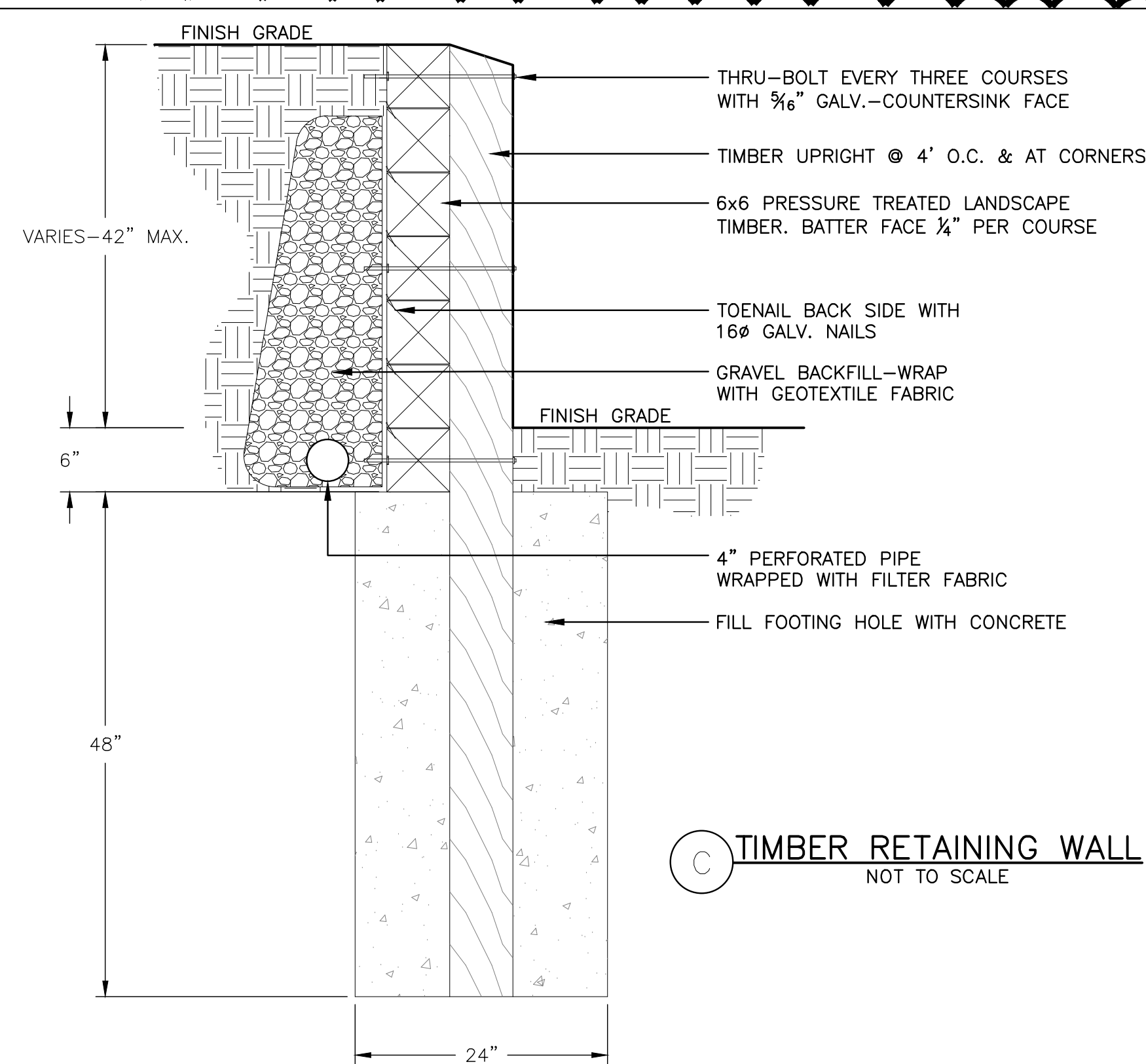
ELEVATION

A CHAINLINK FENCE DETAIL
SCALE 1/2"=1'-0"

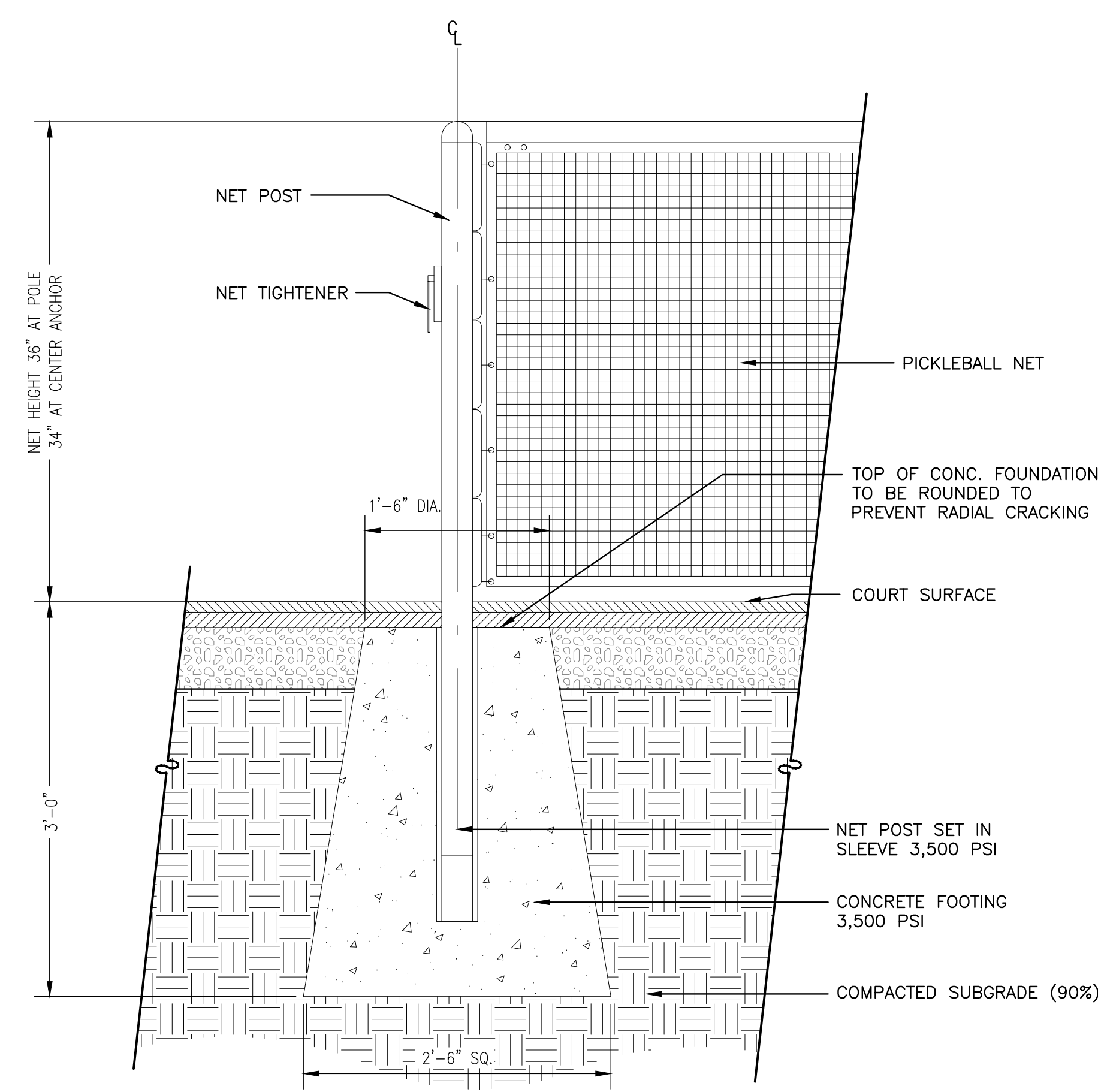
- NOTE:
1. ALL FENCE POSTS, HARDWARE AND CHAIN LINK FABRIC SHALL BE PVC COATED (BLACK).
 2. INSTALL CHAIN LINK ON OUTSIDE OF AREA IT IS SECURING.
 3. SPECIFICATIONS MAY VARY BASED ON ACTUAL APPROVED MANUFACTURER.
 4. LATCH TO RECEIVED OWNER'S LOCK.



B CHAINLINK FENCE GATE DETAIL
SCALE 1/2"=1'-0"

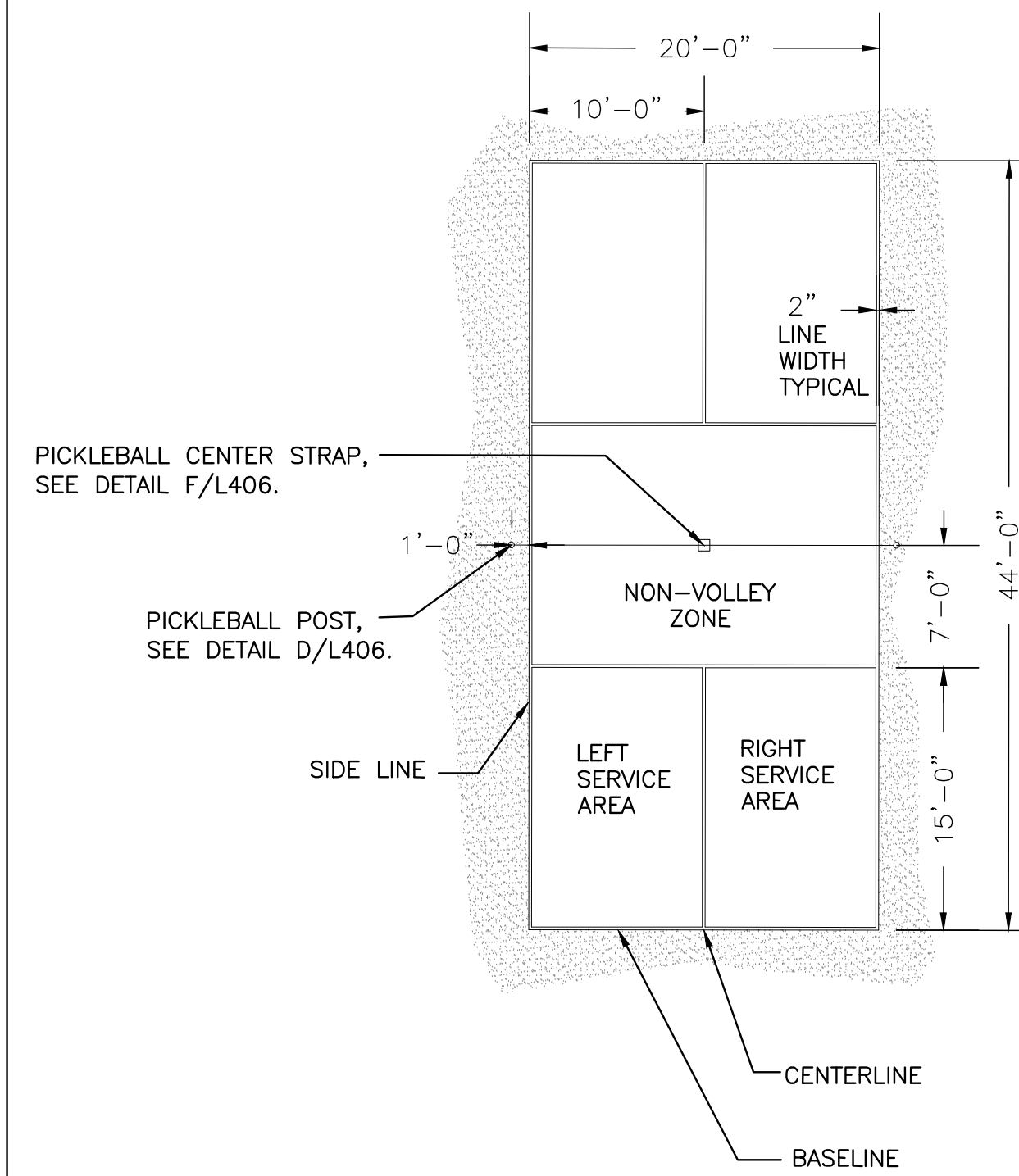


C TIMBER RETAINING WALL
NOT TO SCALE

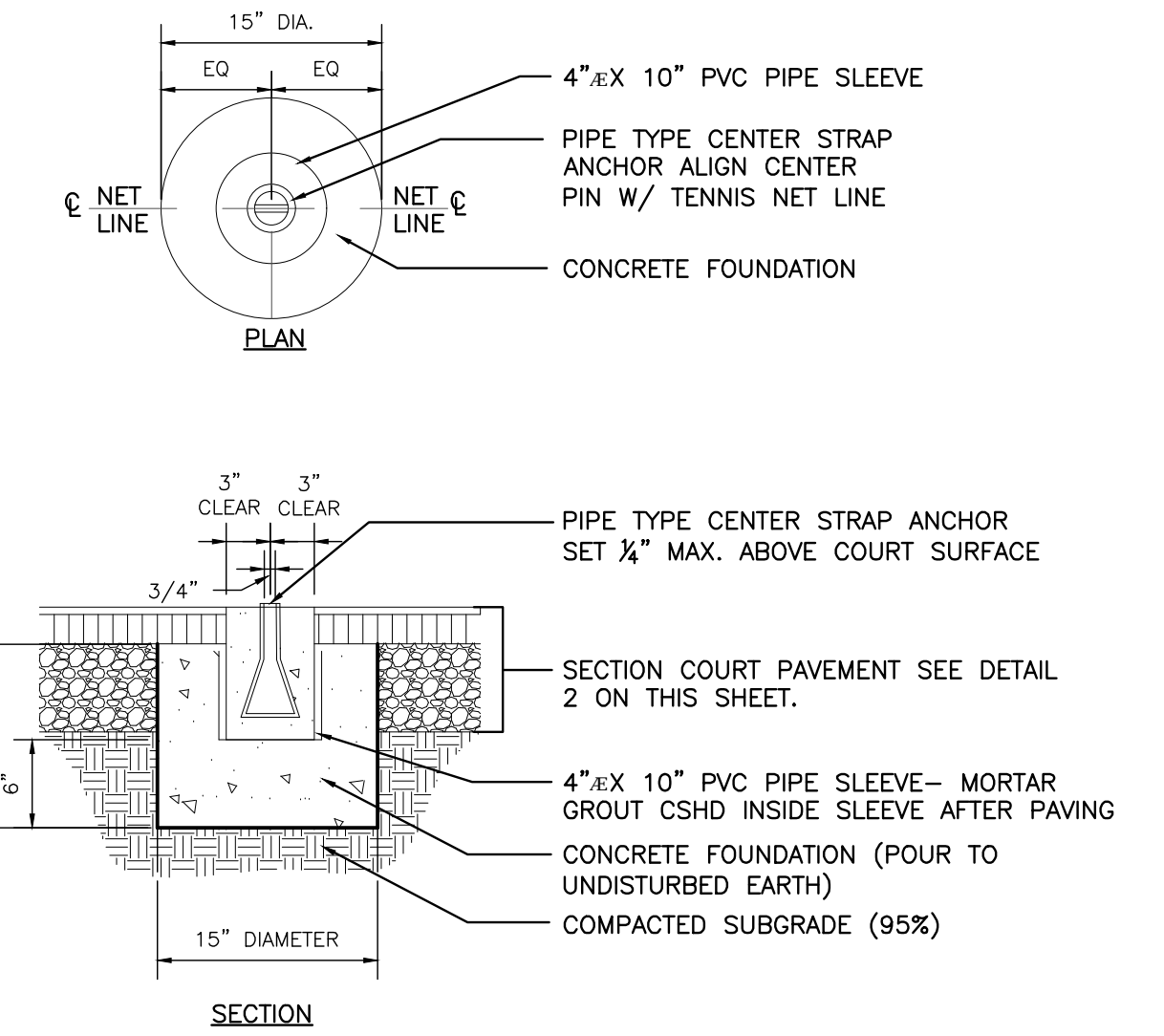


D PICKLEBALL NET FOUNDATION DETAIL
NOT TO SCALE

- COURT NOTES:
1. PICKLEBALL LINES DIMENSIONED TO THE OUTSIDE EDGES OF PLAYING AREA. LINE COLOR: WHITE. 2" WIDE TYPICAL.
 2. PICKLEBALL LINES TO MATCH DIMENSIONS FROM USAPA PICKLEBALL COURT LAYOUT.
 3. INSIDE PICKLEBALL COURT COLOR DARK BLUE, OUTSIDE COURT COLOR MEDIUM GREEN.
 4. CONTRACTOR TO RESURFACE BASKETBALL COURT. INSTALL ONE (1) COAT ACRYLIC RESURFACER, TWO (2) COATS ACRYLIC COLOR WITH SAND, AND ONE (1) ACRYLIC COLOR FINISH.

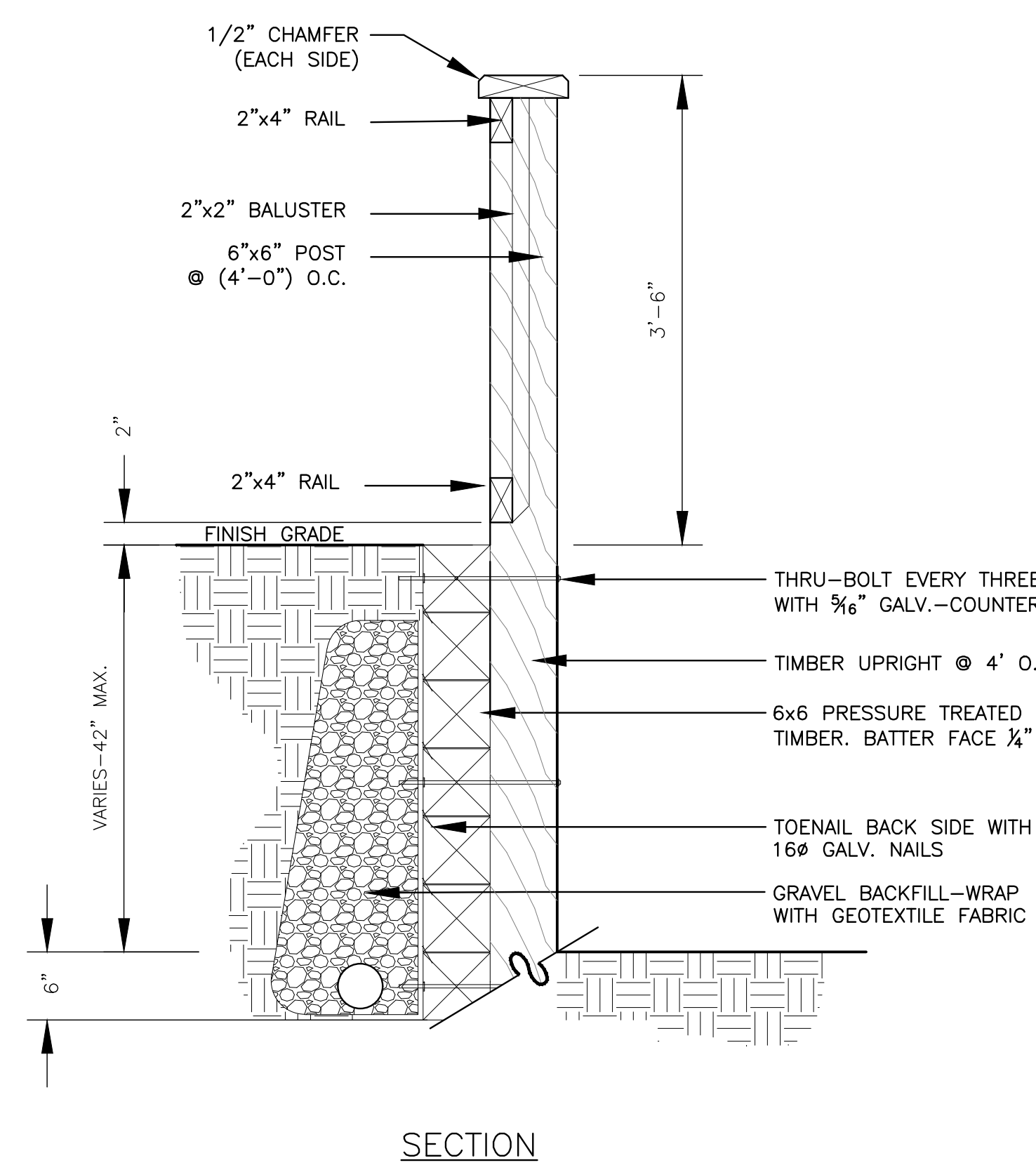


E PICKLEBALL COURT LAYOUT DETAIL
NOT TO SCALE

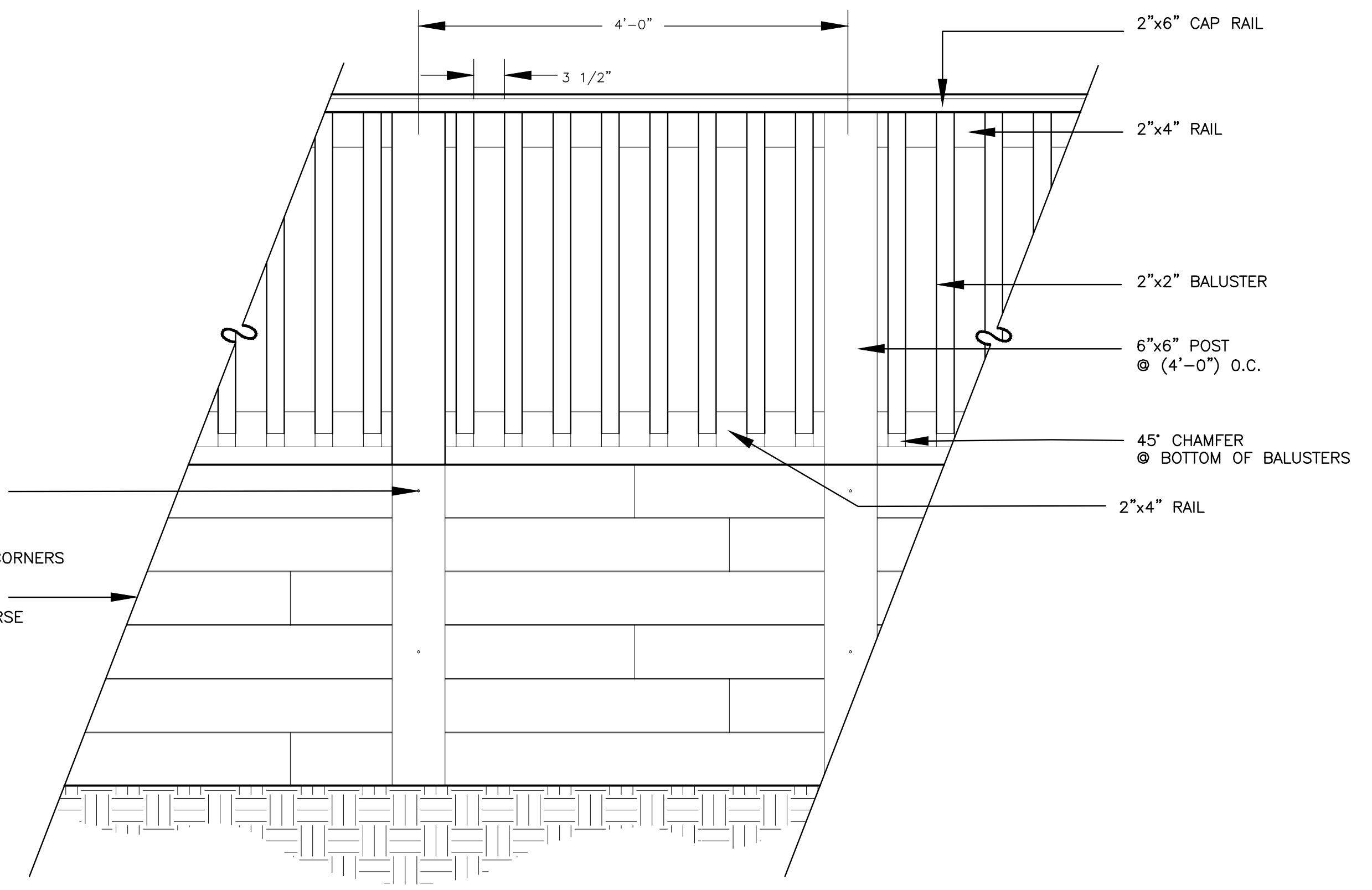


F PICKLEBALL CENTER STRAP FOUNDATION DETAIL
SCALE 1"=1'-0"

- NOTES:
1. ALL WOOD SHALL BE PRESSURE TREATED LP-2 OR EQUAL.
 2. POSTS & BEAMS SHALL BE LP-2 OR EQUAL.
 3. FASTENERS SHALL BE DOUBLE, HOT-DIPPED GALV. SCREWS. FOR ALL DECKING, CAP RAILS, HANDRAILS, AND BALUSTERS. MAZE OR APPROVED EQUAL. POSTS AND JOISTS SHALL BE SECURED WITH STAINLESS STEEL BOLTS.
 4. ALL ALUMINUM COMPONENTS SHALL BE 14 GAUGE ALUMINUM PIPE WITH NATURAL FINISH.
 5. CONTINUOUS WELD ALL JOINTS & GRIND SMOOTH.
 6. MOUNT HANDRAILS TO POSTS.
 7. ALL HANDRAILS SHALL WITHSTAND 200 LBS. HORIZONTAL THRUST AND 50 LBS. PER LINEAR FOOT PRESSURE.
 8. SUBMIT SHOP DRAWINGS AND DESIGN LOAD CALCULATIONS FOR ALL WOOD RAILINGS AND ALUMINUM HANDRAILS.
 9. CONTRACTOR SHALL PROVIDE MOCKUP OF BOARDWALK W/ RAILING AND HANDRAIL FOR APPROVAL. THE MOCKUP CAN BE INCORPORATED INTO THE FINAL CONSTRUCTION OF THE BOARDWALK.
 10. SEE CIVIL PLANS FOR GRADES OF BOARDWALKS. ALL BOARDWALKS SHALL BE HANDICAP ACCESSIBLE.



SECTION



SIDE ELEVATION

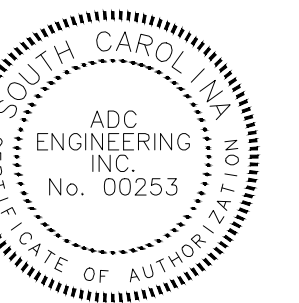
G RETAINING WALL HANDRAIL
1"=1'-0"

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York, South Carolina

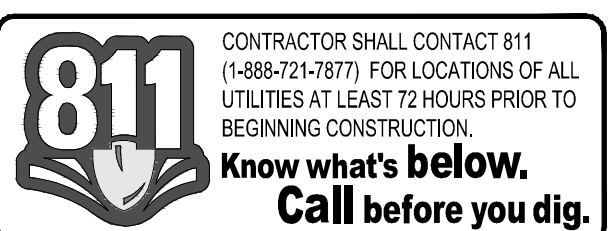
EBENEZER PARK
PHASE II IMPROVEMENTS

ROCK HILL
SOUTH CAROLINA



Fredrick H. York

ADC
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CHARLESTON \ COLUMBIA \ GREENVILLE
25 WOODS LAKE ROAD, SUITE 210
GREENVILLE, SC 29607
ph: 864-751-9121
WWW.ADCENGINEERING.COM

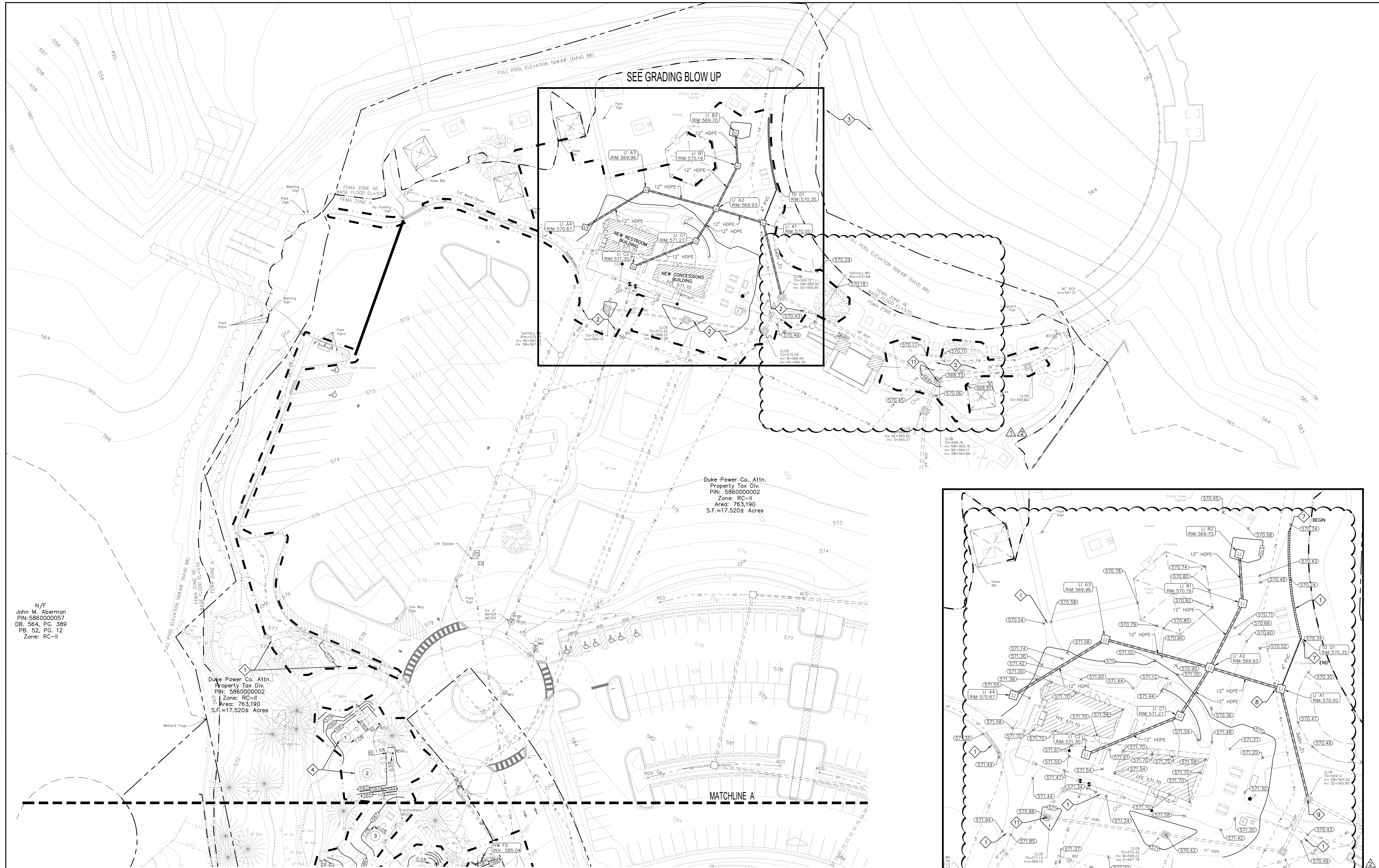


DATE:	03/09/2023
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SITE DETAILS

L406

PERMIT SET



GRADING AND DRAINAGE NOTES:

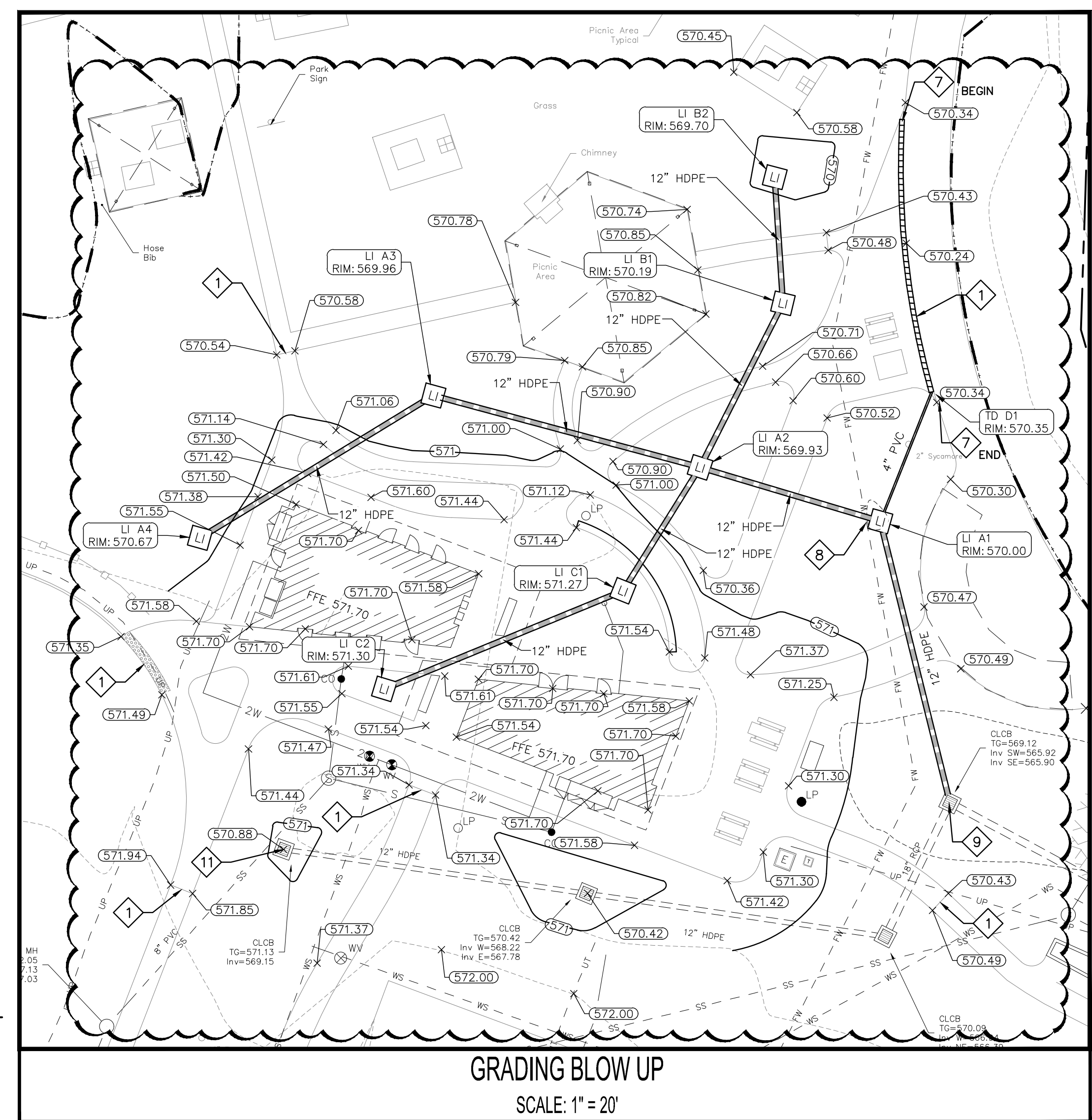
- SEE SHEET L001 FOR CIVIL NOTES AND ABBREVIATIONS.
- GENERAL CONTRACTOR SHALL COORDINATE ALL SITE UTILITIES AND STORM DRAINAGE INSTALLATION SCHEDULES TO AVOID POTENTIAL UTILITY CONFLICTS. GRAVITY DEPENDENT UTILITIES SHALL BE INSTALLED PRIOR TO NON-GRAVITY DEPENDENT UTILITIES.
- ALL SPOTS GIVEN ARE TO TOP OF PAVEMENT UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL ADJUST ALL UTILITY/ DRAINAGE TOPS TO FINISH GRADE.
- PROTECT ALL EXISTING UTILITIES WHICH ARE SCHEDULED TO REMAIN.
- SIDEWALKS AND CROSSWALKS SHALL HAVE A MAXIMUM 2% CROSS SLOPE.
- ADA PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION
- SEE SHEET C310 FOR STORM DRAINAGE PROFILES.

KEYNOTES:

- MATCH EXISTING PAVEMENT ELEVATIONS.
- RE-GRADE AREA TO PROVIDE POSITIVE DRAINAGE TO DRAINAGE STRUCTURES. USE LOW PROFILE, RUBBER Tired CONSTRUCTION EQUIPMENT AROUND EXISTING TREES.
- REPAIR EROSION WITHIN THE EXISTING BEACH. ADD BEACH SAND AS NECESSARY.
- USE LOW-PROFILE, RUBBER Tired CONSTRUCTION EQUIPMENT TO CONSTRUCT PRIMITIVE CAMP SITES TO REDUCE IMPACTS TO EXISTING VEGETATION AND TERRAIN.
- INSTALL NEW HEADWALL ON EXISTING PIPE.
- INSTALL TIMBER RETAINING WALL IAW LANDSCAPE PLANS.
- INSTALL TRENCH DRAIN IAW DETAIL D/C631.
- RELOCATE EXISTING 6" DRY FIRE WATER SERVICE TO ACCOMMODATE NEW STORM DRAINAGE. VERIFY LOCATION PRIOR TO CONSTRUCTION.
- CONNECT NEW STORM DRAINAGE TO EXISTING DRAINAGE STRUCTURE.
- ADJUST EXISTING MANHOLE COVER TO FINISH GRADE.
- ADJUST EXISTING DRAINAGE STRUCTURE TO FINISH GRADE.
- REINFORCE SWALE DITCH WITH RIP RAP ON FILTER FABRIC.
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CIVIL LEGEND - GRADING AND DRAINAGE

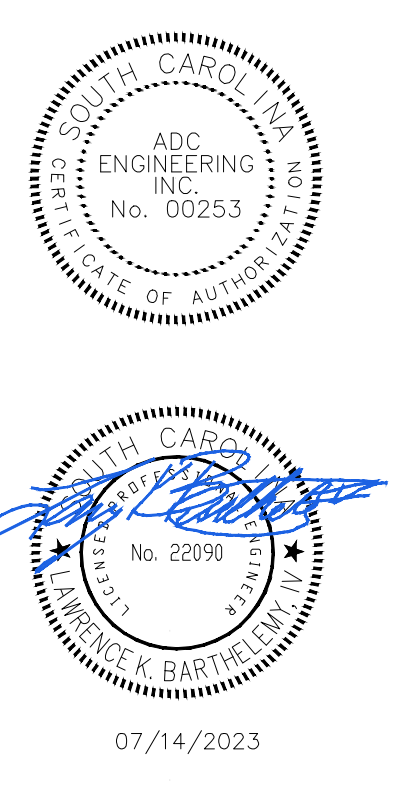
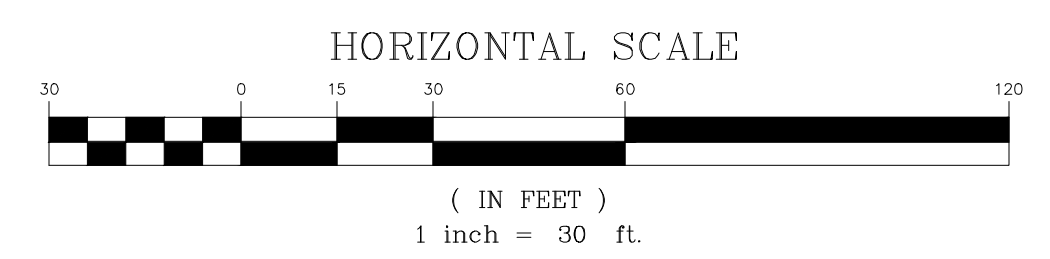
	CATCH BASIN - INSTALL IAW DETAIL A/C630.		NEW FINISHED GRADE SPOT ELEVATION
	DROP INLET - INSTALL IAW DETAIL B/C630.		NEW FINISHED CONTOUR
	LAWN INLET - INSTALL IAW DETAIL D/C630.		EXISTING GRADE SPOT
	STORM DRAINAGE PIPE (SEE PROFILE FOR MATERIAL & SLOPE) - INSTALL IAW DETAIL C/C631.		EXISTING GRADE CONTOUR
	HEADWALL - INSTALL IAW DETAIL A/C631.		DRAINAGE FLOW ARROW
	FLARED END SECTION - INSTALL IAW DETAIL B/C631.		SLOPE AND SLOPE DIRECTION
			PERMANENT RIP RAP APRON - INSTALL IAW DETAIL B/C742.
			PROPERTY LINE
			LIMITS OF CONSTRUCTION/LIMITS OF DISTURBANCE



SPECIAL FLOOD HAZARD AREA NOTES:

- THE SPECIAL FLOOD HAZARD AREA (SFHA) SHOWN WAS OBTAINED BY A FIELD RUN TOPOGRAPHIC SURVEY.
- NO FILL WILL BE PLACED IN THE SPECIAL FLOOD HAZARD AREA (SFHA - 100-YR FLOOD PLAN), MINOR GRADING WILL TAKE PLACE IN THE SFHA TO ENSURE POSITIVE DRAINAGE.

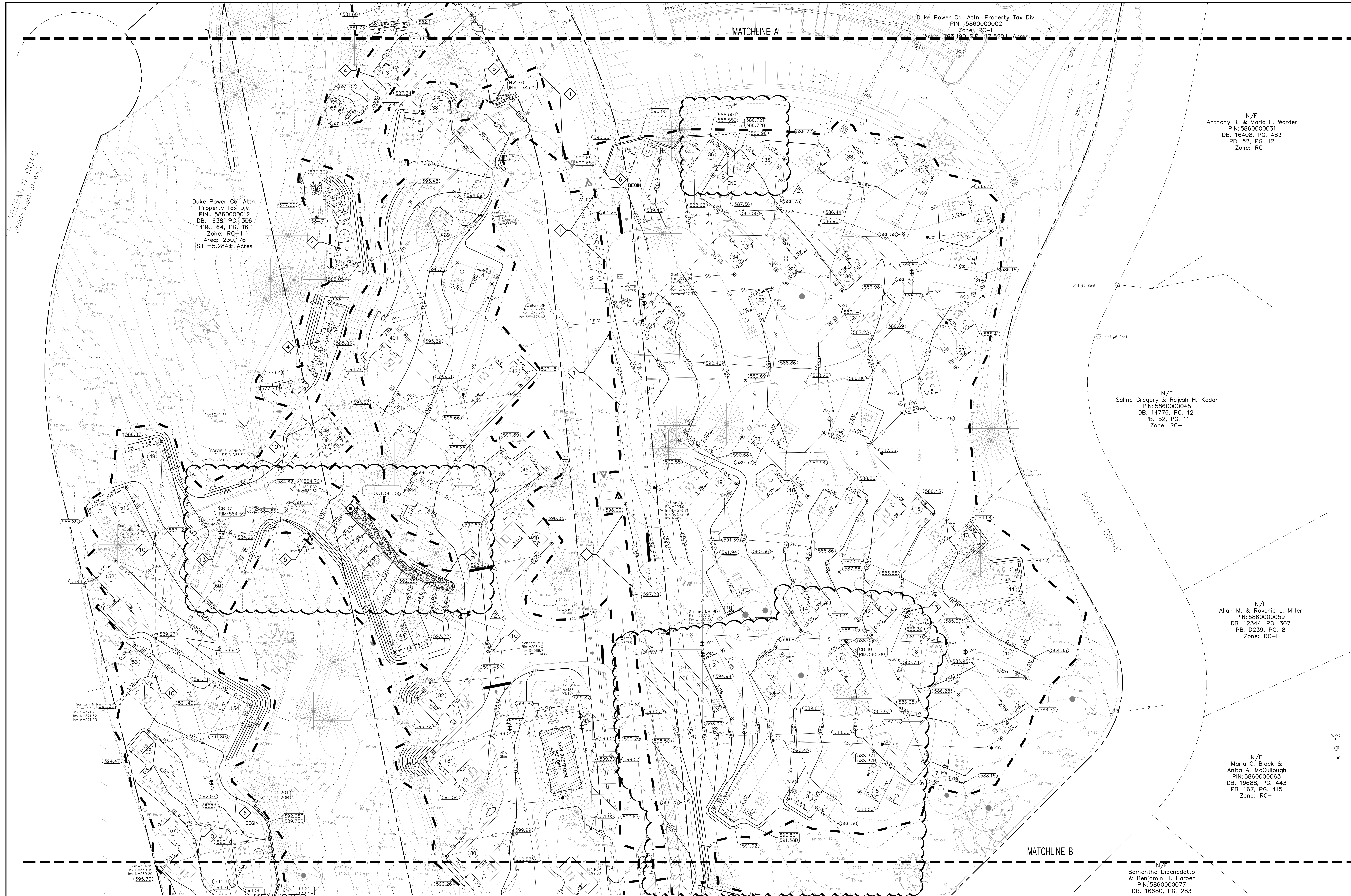
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	REVISED PERMIT DWGS 07/14/2023

**GRADING AND
 STORM DRAINAGE
 PLAN - AREA 1**

C301



GRADING AND DRAINAGE NOTES:

- SEE SHEET L001 FOR CIVIL NOTES AND ABBREVIATIONS.
- GENERAL CONTRACTOR SHALL COORDINATE ALL SITE UTILITIES AND STORM DRAINAGE INSTALLATION SCHEDULES TO AVOID POTENTIAL UTILITY CONFLICTS. GRAVITY DEPENDENT UTILITIES SHALL BE INSTALLED PRIOR TO NON-GRAVITY DEPENDENT UTILITIES.
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- CONTRACTOR SHALL ADJUST ALL UTILITY/ DRAINAGE TOPS TO FINISH GRADE.
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- ADA PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION.
- SEE SHEET C310 FOR STORM DRAINAGE PROFILES.

KEYNOTES:

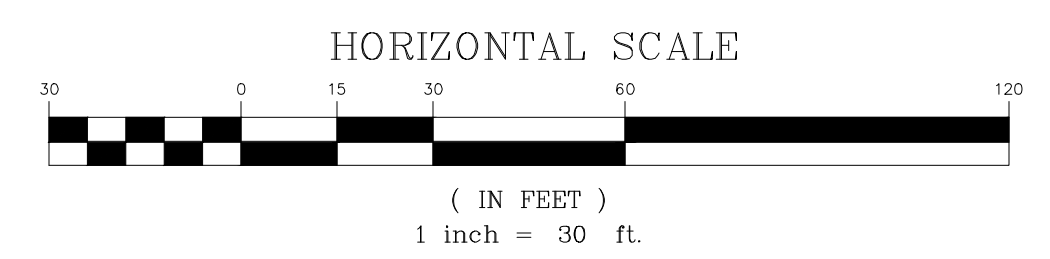
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CIVIL LEGEND - GRADING AND DRAINAGE

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	FLARED END SECTION - INSTALL IAW DETAIL B/C631.		SLOPE AND SLOPE DIRECTION
	PERMANENT RIP RAP APRON - INSTALL IAW DETAIL B/C742.		PROPERTY LINE
	LIMITS OF CONSTRUCTION/LIMITS OF DISTURBANCE		LIMITS OF CONSTRUCTION/LIMITS OF DISTURBANCE

SPECIAL FLOOD HAZARD AREA NOTES:
 1. THE SPECIAL FLOOD HAZARD AREA (SFHA) SHOWN WAS OBTAINED BY A FIELD RUN TOPOGRAPHIC SURVEY.
 2. NO FILL WILL BE PLACED IN THE SPECIAL FLOOD HAZARD AREA (SFHA - 100-YR FLOOD PLAN), MINOR GRADING WILL TAKE PLACE IN THE SFHA TO ENSURE POSITIVE DRAINAGE.

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YORK COUNTY
 York, South Carolina
**EBENEZER PARK
 PHASE II IMPROVEMENTS**
 ROCK HILL
 SOUTH CAROLINA

ADC ENGINEERING
 No. 00253
 No. 2299
 No. 2299
 07/14/2023

ADC ENGINEERING
 CHARLESTON \ COLUMBIA \ GREENVILLE
 25 WOODS LAKE ROAD, SUITE 210
 GREENVILLE, SC 29607
 ph: 864-751-9121
 WWW.ADCENGINEERING.COM

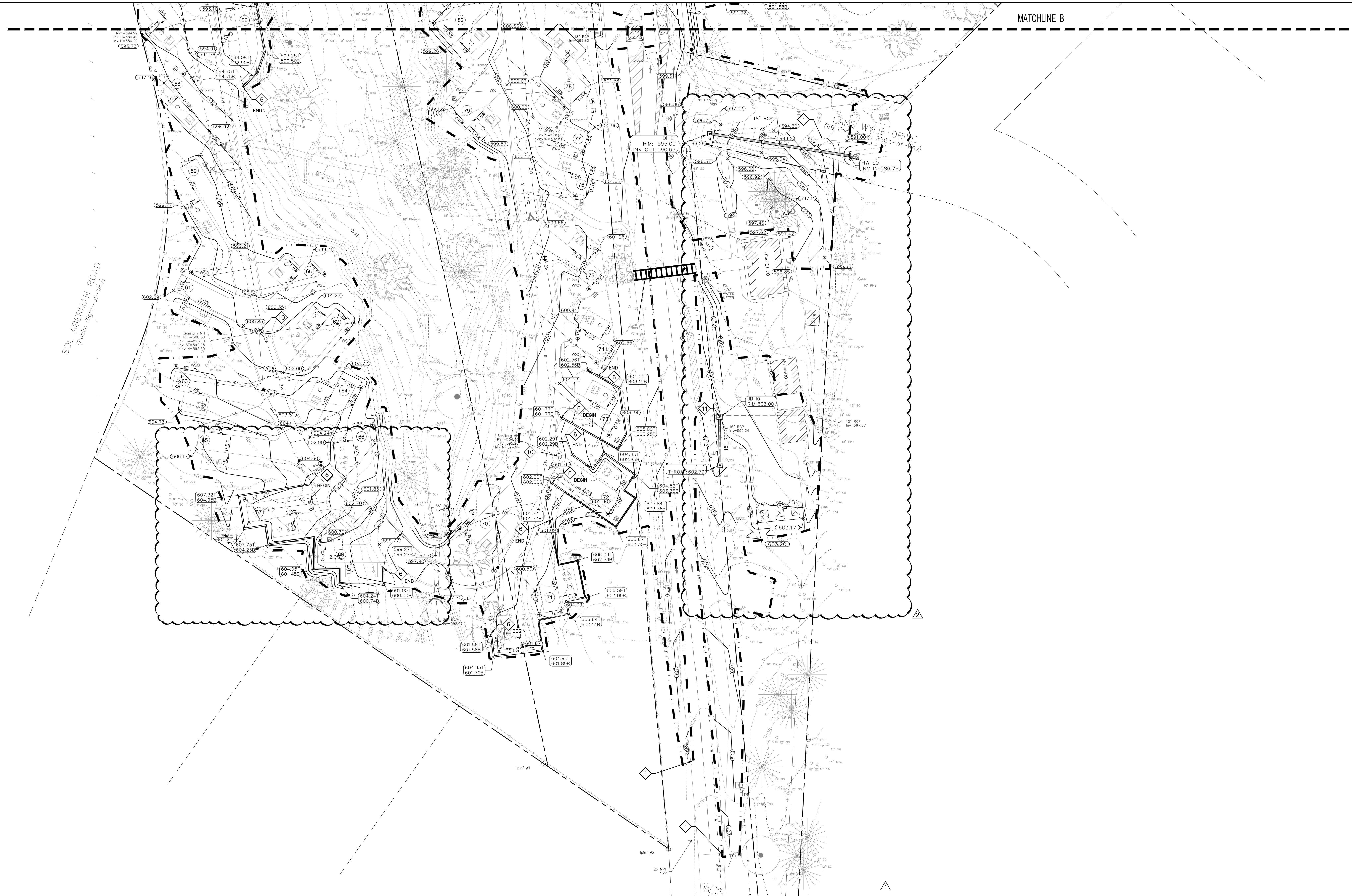
811
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ADC PROJECT #:	21455
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	REVISED PERMIT DWGS 07/14/2023

**GRADING AND
 STORM DRAINAGE
 PLAN - AREA 2**

C302

PERMIT SET



GRADING AND DRAINAGE NOTES:

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KEYNOTES:

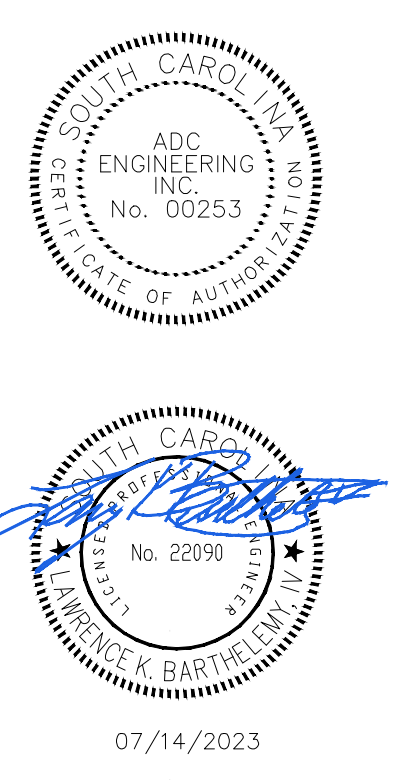
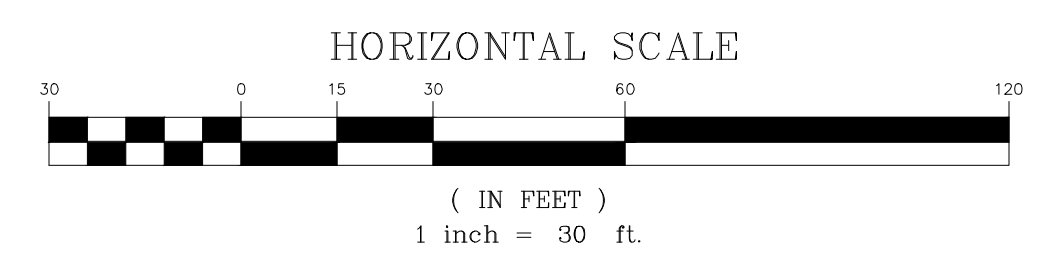
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CIVIL LEGEND — GRADING AND DRAINAGE

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	FLARED END SECTION — INSTALL IAW DETAIL B/C631.		SLOPE AND SLOPE DIRECTION
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			PROPERTY LINE
			LIMITS OF CONSTRUCTION/LIMITS OF DISTURBANCE

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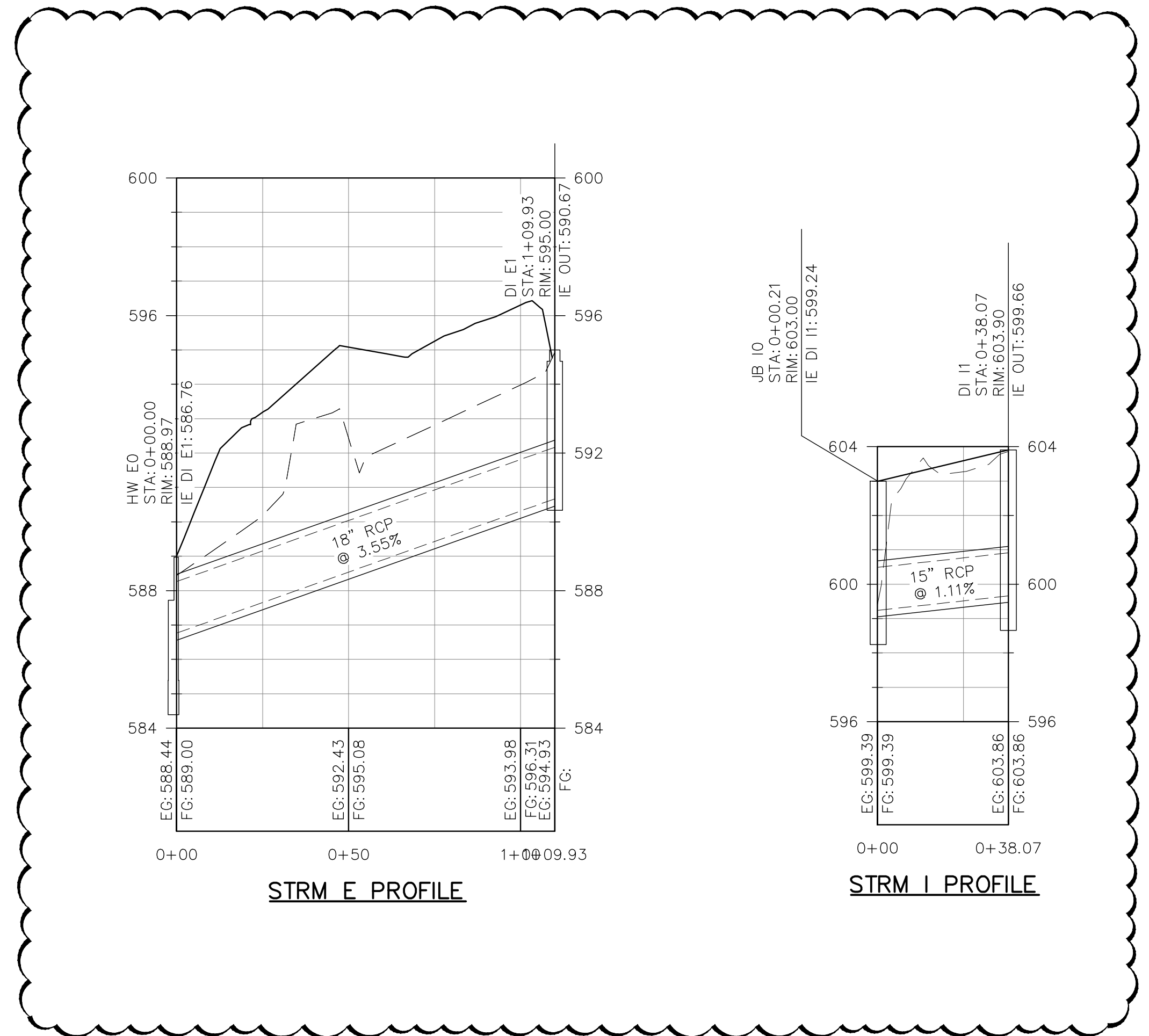
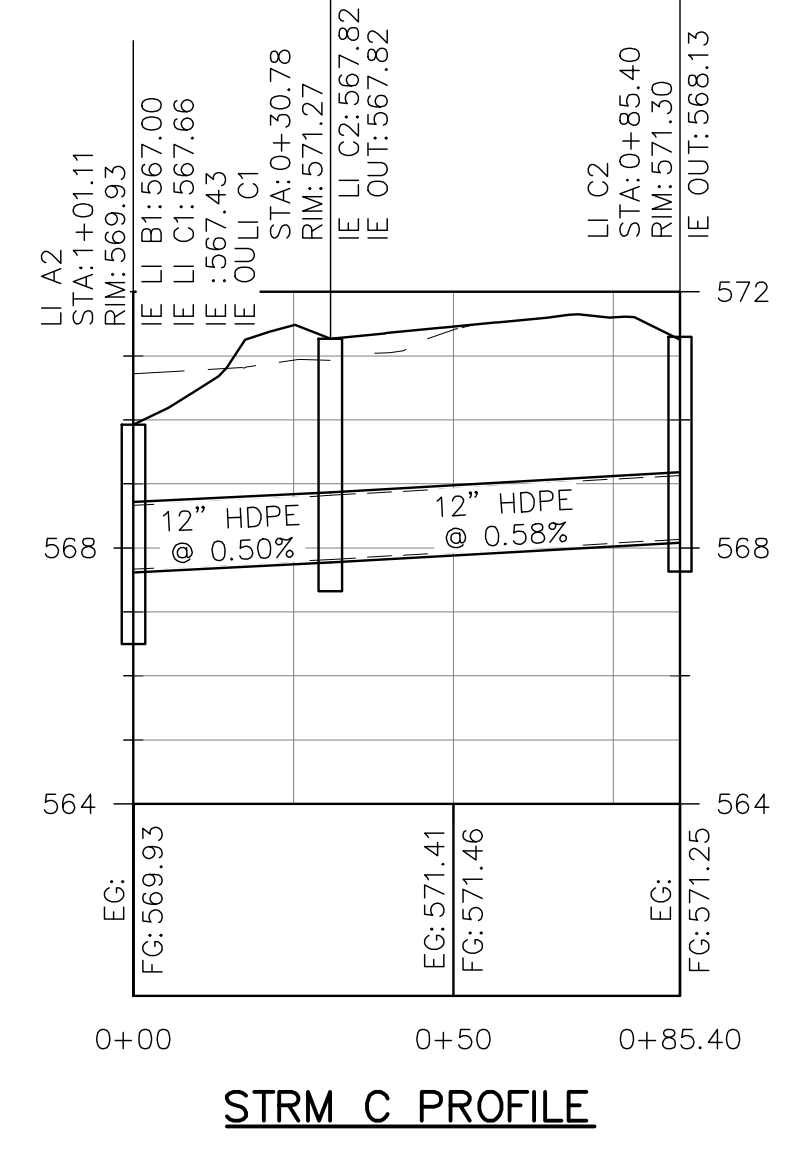
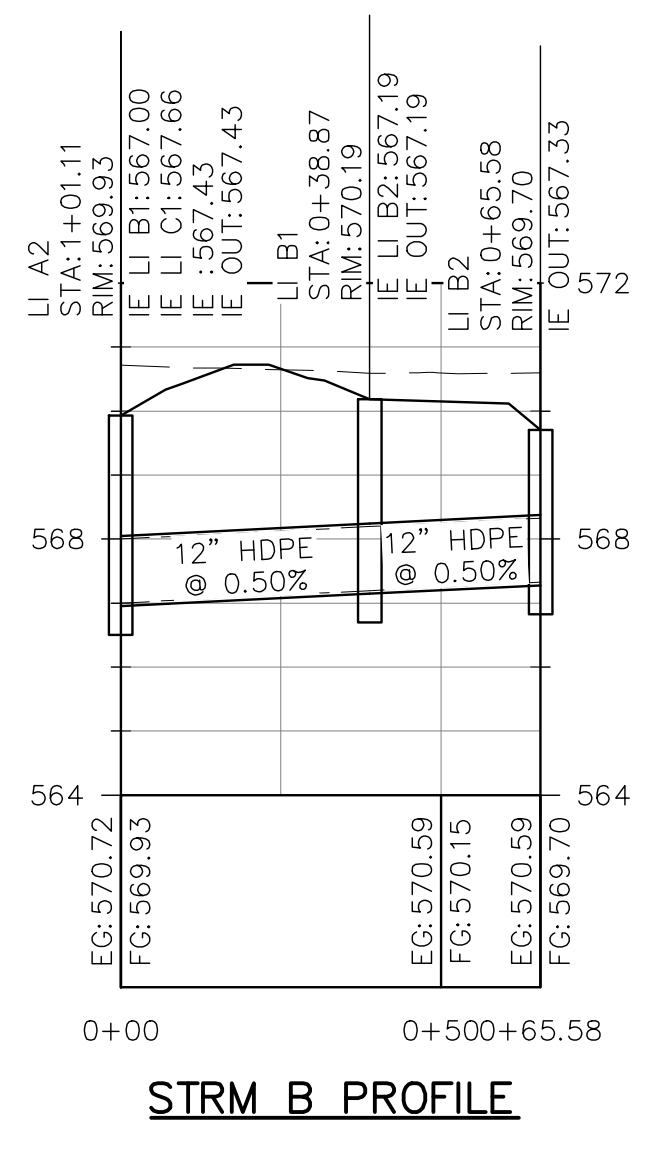
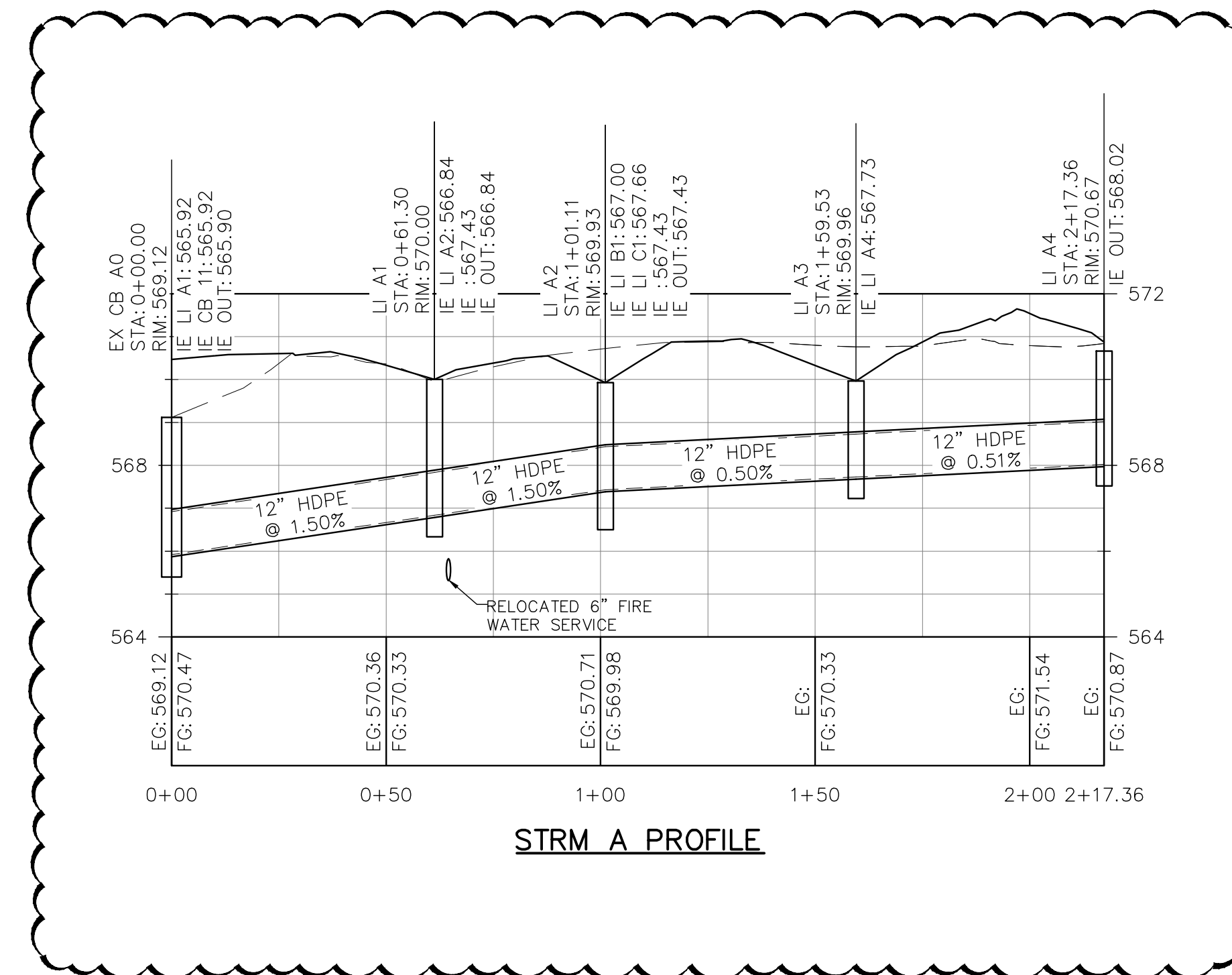
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ENGINEERING
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 25 WOODS LAKE ROAD, SUITE 210
 GREENVILLE, SC 29607
 ph: 864-751-9121
 WWW.ADCENGINEERING.COM

811 CONTRACTOR SHALL CONTACT 811 (1-888-721-7871) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
Know what's below.
Call before you dig.

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ADC PROJECT #:	21455
DESIGNED:	HP
CHECKED:	LKB
DRAWN:	HP
REVISION:	
	REVISED PERMIT DWGS 06/06/2023
	REVISED PERMIT DWGS 07/14/2023

**GRADING AND
 STORM DRAINAGE
 PLAN - AREA 3**

C303



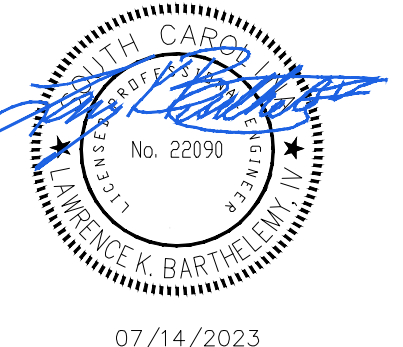
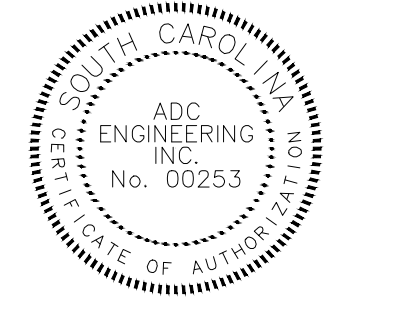
STORM DRAINAGE PROFILE NOTES:
 1. SEE SHEET L001 FOR CIVIL NOTES AND ABBREVIATIONS.

DRAINAGE PROFILE LEGEND:
 EXISTING GRADE _____
 FINISHED GRADE _____

YORK COUNTY
 York, South Carolina

**EBENEZER PARK
 PHASE II IMPROVEMENTS**

ROCK HILL
 SOUTH CAROLINA



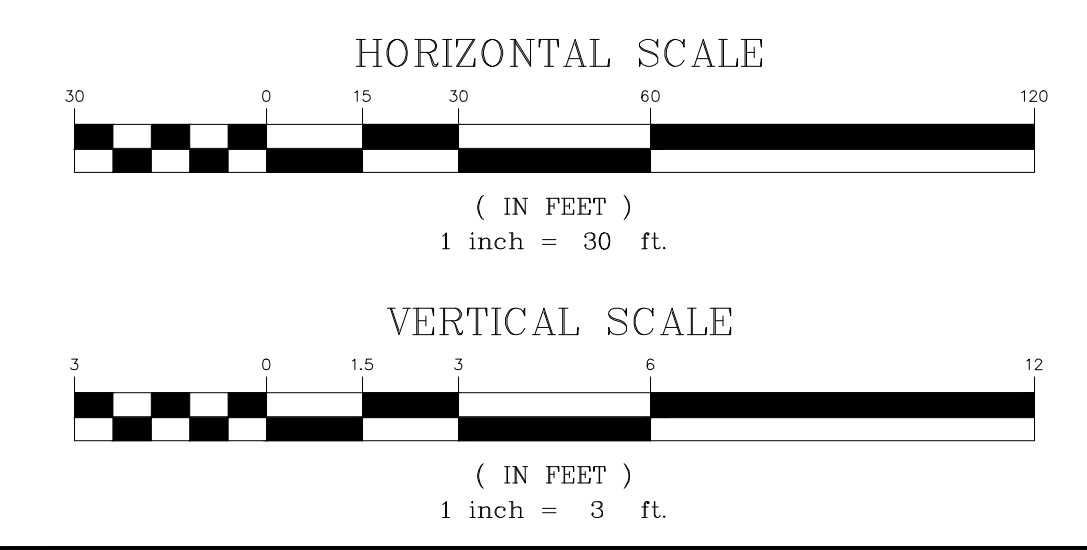
07/14/2023

ADC ENGINEERING
 CHARLESTON \ COLUMBIA \ GREENVILLE
 25 WOODS LAKE ROAD, SUITE 210
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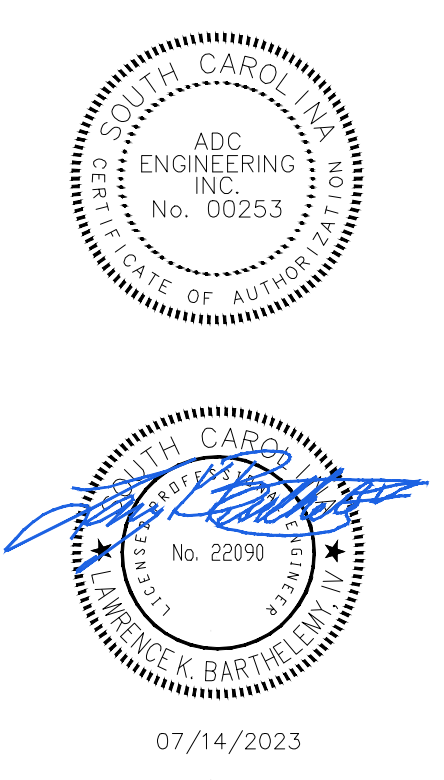
811 CONTRACTOR SHALL CONTACT 811 (1-888-721-7871) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
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DATE:	03/09/2023
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DRAWN:	HP
REVISION:	
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△	ADDENDUM #1 07/14/2023

**STORM DRAINAGE
 PROFILES**



C310



DATE: 03/09/2023
 ADC PROJECT #: 21455
 DESIGNED: HP
 CHECKED: LKB
 DRAWN: HP
 REVISION:
 △ REVISED PERMIT DWGS 06/06/2023
 △ REVISED PERMIT DWGS 07/14/2023

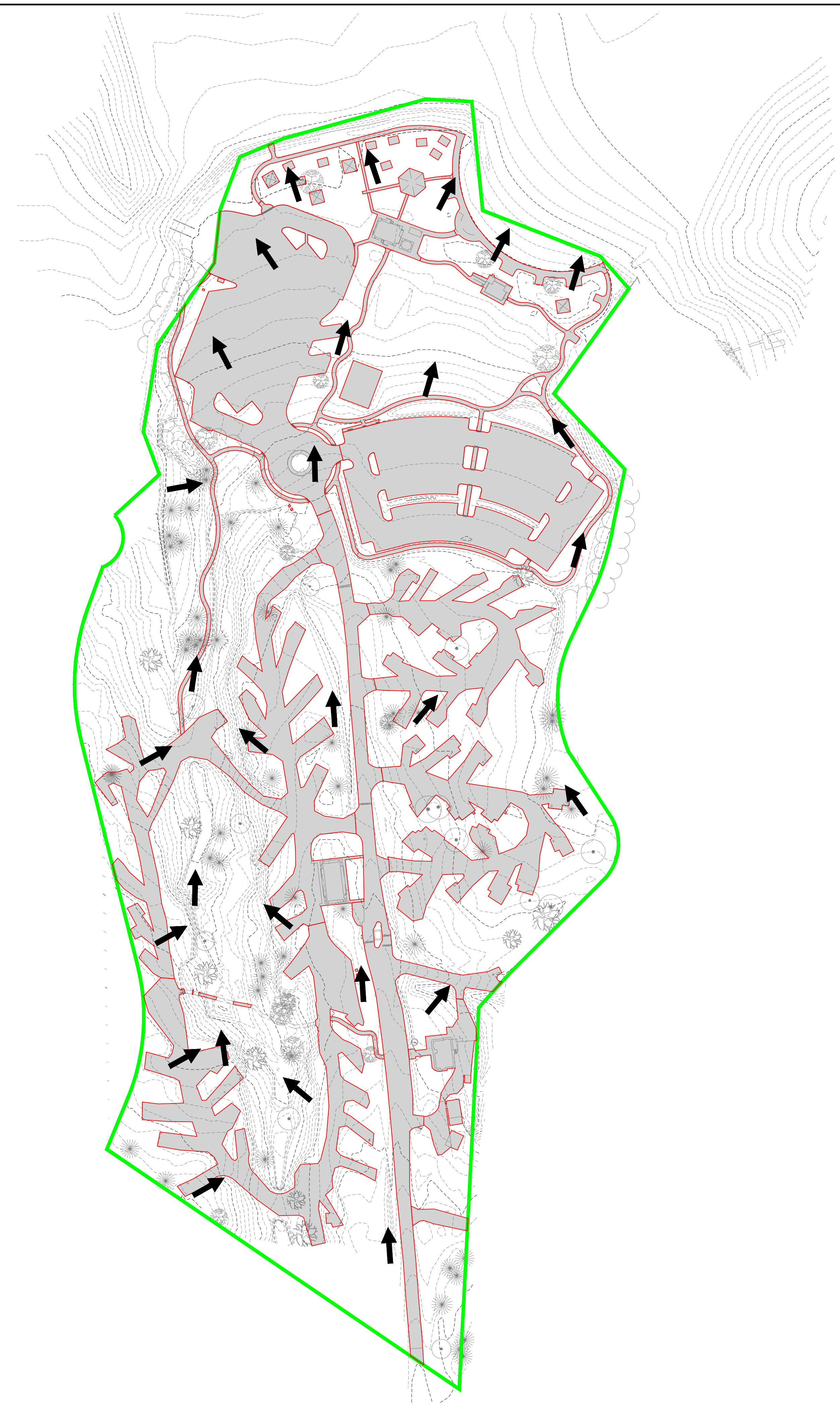
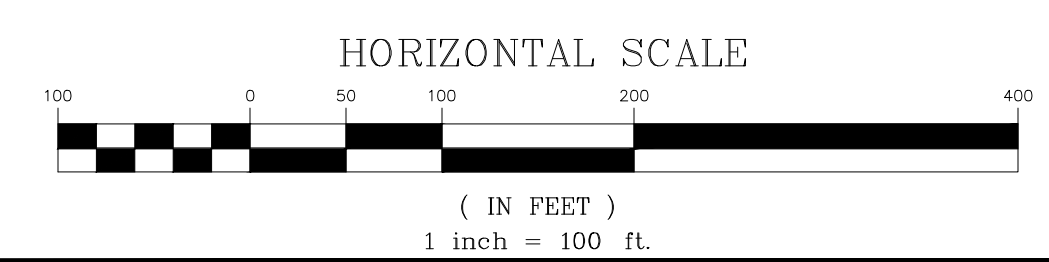
DRAINAGE AREA PLAN

C320



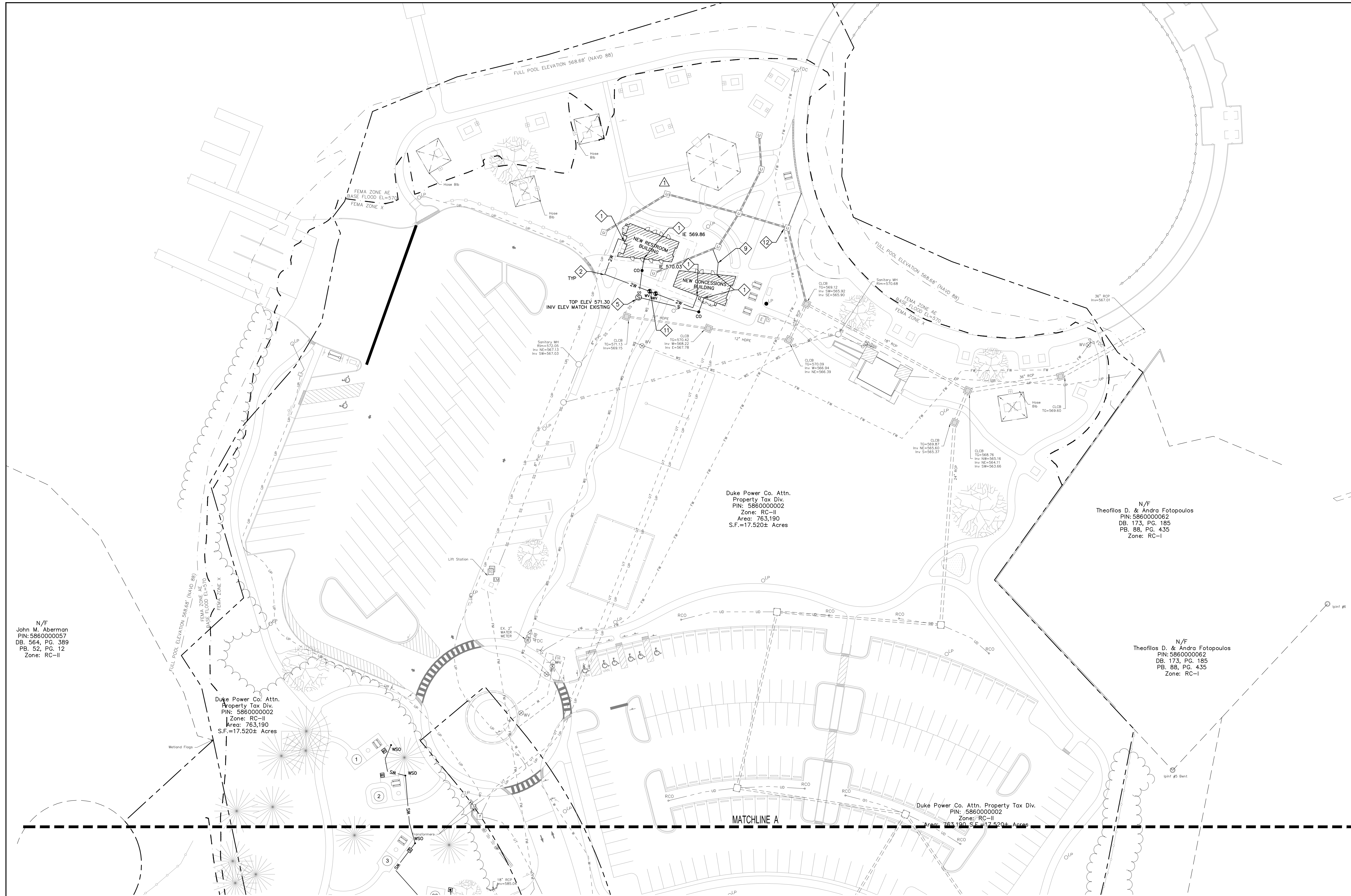
POST DEVELOPMENT CONDITION (EXISTING DEVELOPED SITE)				
TOTAL AREA DISCHARGE TO POA (AC):				26.2
PERVIOUS AREA (AC):				16.5
IMPERVIOUS AREA (AC):				9.7
BUILT UPON AREA (AC):				37%
CN:				74
TC:				11.2
2-YR	10-YR	25-YR	100-YR	
48.63	98.45	130.09	182.17	

CIVIL LEGEND -- DRAINAGE AREA:
 DRAINAGE AREA LIMITS: [Green line]
 IMPERVIOUS AREA: [Red outline]
 FLOW PATH: [Dashed line]
 FLOW DIRECTION: [Arrow]



PRE DEVELOPMENT CONDITION (EXISTING DEVELOPED SITE)				
TOTAL AREA DISCHARGE TO POA (AC):				26.2
PERVIOUS AREA (AC):				17.0
IMPERVIOUS AREA (AC):				9.2
BUILT UPON AREA (AC):				35%
CN:				73
TC:				11.2
2-YR	10-YR	25-YR	100-YR	
46.12	95.01	126.33	178.10	

CIVIL LEGEND -- DRAINAGE AREA:
 DRAINAGE AREA LIMITS: [Green line]
 IMPERVIOUS AREA: [Red outline]
 FLOW PATH: [Dashed line]
 FLOW DIRECTION: [Arrow]



N/F
John M. Abernethy
PIN: 5860000057
DB. 564, PG. 389
PB. 52, PG. 12
Zone: RC-II

Duke Power Co. Attn.
Property Tax Div.
PIN: 5860000002
Zone: RC-II
Area: 763,190
S.F.=17,520± Acres

Duke Power Co. Attn.
Property Tax Div.
PIN: 5860000002
Zone: RC-II
Area: 763,190
S.F.=17,520± Acres

N/F
Theofilos D. & Andra Fotopoulos
PIN: 5860000062
DB. 173, PG. 185
PB. 88, PG. 435
Zone: RC-I

N/F
Theofilos D. & Andra Fotopoulos
PIN: 5860000062
DB. 173, PG. 185
PB. 88, PG. 435
Zone: RC-I

Duke Power Co. Attn. Property Tax Div.
PIN: 5860000002
Zone: RC-II
Area: 763,190 S.F.=17,520± Acres

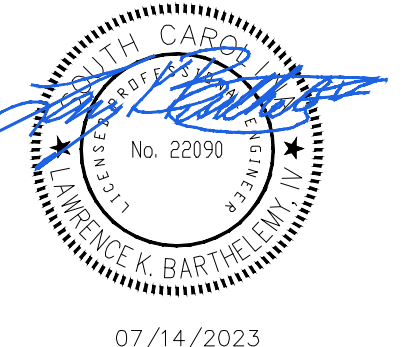
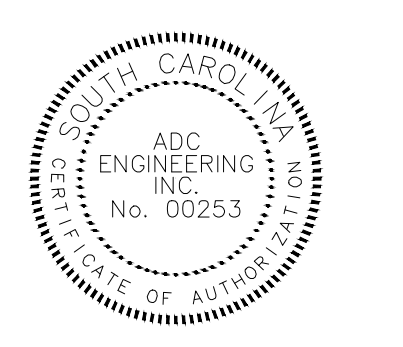
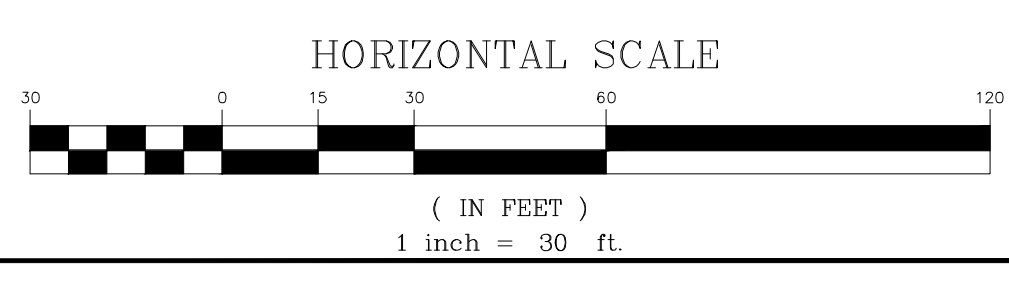
- UTILITY NOTES:**
- SEE SHEET L001 FOR CIVIL NOTES AND ABBREVIATIONS.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL SITE UTILITIES AND STORM DRAINAGE INSTALLATION SCHEDULES TO AVOID POTENTIAL UTILITY CONFLICTS. GRAVITY DEPENDENT UTILITIES SHALL BE INSTALLED PRIOR TO NON-GRAVITY DEPENDENT UTILITIES.
 - VERIFY UTILITY SERVICE LOCATIONS AND ELEVATIONS WITH PLUMBING PLANS PRIOR TO CONSTRUCTION.
 - ALL MATERIALS, CONSTRUCTION AND PLANS ARE TO COMPLY WITH CURRENT CITY OF ROCK HILL STANDARD SPECIFICATIONS AND DETAILS.
 - CONTACT PALMETTO UTILITY PROTECTION SERVICE (PUPS) AT 811 OR 888-721-7877, A MINIMUM OF 72 HOURS BEFORE DIGGING.
 - ALL CAMP SITES SHALL RECEIVE A NEW 3/4" WATER SERVICE AND YARD HYDRANT. COORDINATE LOCATION WITH YORK COUNTY.
 - ALL CAMP SITES SHALL RECEIVE A NEW 4" SEWER SERVICE AND RV SEWER CONNECTOR. COORDINATE LOCATION WITH YORK COUNTY.
 - WATER AND SEWER SERVICE LOCATIONS ARE APPROXIMATE AND BASED ON OLD DESIGN DRAWINGS AND CITY OF ROCK HILL MAPS. CONTRACTOR SHALL COMPLETE A PRIVATE UTILITY LOCATE AND FIELD VERIFY THE LOCATION OF EXISTING UTILITIES.

- KEYNOTES:**
- SEE PLUMBING PLANS FOR CONTINUATION. INSTALL FITTINGS AS NECESSARY TO CONNECT TO SERVICE.
 - INSTALL BENDS AS NECESSARY.
 - INSTALL NEW RV SEWER CONNECTION AT EACH CAMP SITE IAW DETAIL E/C641.
 - INSTALL NEW WATER SERVICE AND YARD HYDRANT AT EACH CAMP SITE IAW DETAIL F/C641.
 - INSTALL NEW SEWER MANHOLE ON EXISTING 8" SEWER SERVICE IAW DETAIL B/C640.
 - EXTEND EXISTING SEWER SERVICE AT A 1% MIN. SLOPE IAW DETAILS C/C641 AND D/C641. VERIFY LOCATION AND INVERT OF SEWER SERVICE PRIOR TO CONSTRUCTION.
 - CONNECT NEW SEWER SERVICE TO EXISTING SEWER MAIN/SERVICE IAW DETAIL D/C641. VERIFY LOCATION AND INVERT OF SEWER MAIN/SERVICE PRIOR TO CONSTRUCTION.
 - CONNECT TO EXISTING WATER SERVICE. VERIFY SIZE, LOCATION AND DEPTH OF WATER SERVICE PRIOR TO CONSTRUCTION.
 - EXTEND NEW 3/4" WATER SERVICE FROM BUILDING TO EXTERIOR SHOWER.
 - CONNECT NEW SEWER SERVICE TO EXISTING SEWER MANHOLE IAW DETAIL B/C640.
 - CONNECT TO EXISTING 2" BUILDING SERVICE AND EXTEND NEW 2" SERVICE TO NEW BUILDING.
 - RELOCATE EXISTING 6" DRY FIRE WATER SERVICE TO ACCOMMODATE NEW STORM DRAINAGE.
 - ADJUST MANHOLE COVER TO FINISH GRADE. SEE GRADING PLANS.

- CIVIL LEGEND - UTILITY**
- WATER BLOW OFF ASSEMBLY - INSTALL IAW DETAIL B/C641.
 - BALL VALVE (MATCH LINE SIZE) - INSTALL IAW DETAIL C/C640.
 - YARD HYDRANT - INSTALL IAW DETAIL F/C641. EACH CAMPSITE SHALL RECEIVE A NEW YARD HYDRANT.
 - SEWER MANHOLE - INSTALL IAW DETAIL B/C640.
 - SEWER CLEANOUT - INSTALL IAW DETAIL D/C641.
 - CAMP SITE/RV SEWER CONNECTION - INSTALL IAW DETAIL E/C641. EACH CAMPSITE SHALL RECEIVE A NEW RV SEWER CONNECTION.
 - CAMP SITE/RV ELECTRICAL CONNECTION - INSTALL IAW ELECTRICAL PLANS. COORDINATE LOCATION WITH OWNER.
 - 2" PVC (SDR 13.5) WATER SERVICE
 - 3/4" COPPER (TYPE K) WATER SERVICE - INSTALL TO NEW CAMP SITES IAW DETAIL IAW DETAIL F/C641.
 - 4" PVC SEWER SERVICE - INSTALL AT A 1% MINIMUM SLOPE AND IAW DETAIL D/C641.
 - 6" PVC SEWER SERVICE - INSTALL AT A 1% MINIMUM SLOPE AND IAW DETAIL C/C641.

NOTE:
NO FILL WILL BE PLACED IN THE SPECIAL FLOOD HAZARD AREA (SFHA - 100-YR FLOOD PLAN). MINOR GRADING WILL TAKE PLACE IN THE SFHA TO ENSURE POSITIVE DRAINAGE.

FOR YORK COUNTY USE ONLY
APPROVED
Subject to York County Code of Ordinances by initials and date below.
Reviewer: _____ Date: _____
Zoning: _____
Engineering: _____
Eav Comp: _____
Changes/Alterations to this plan may void permit #.



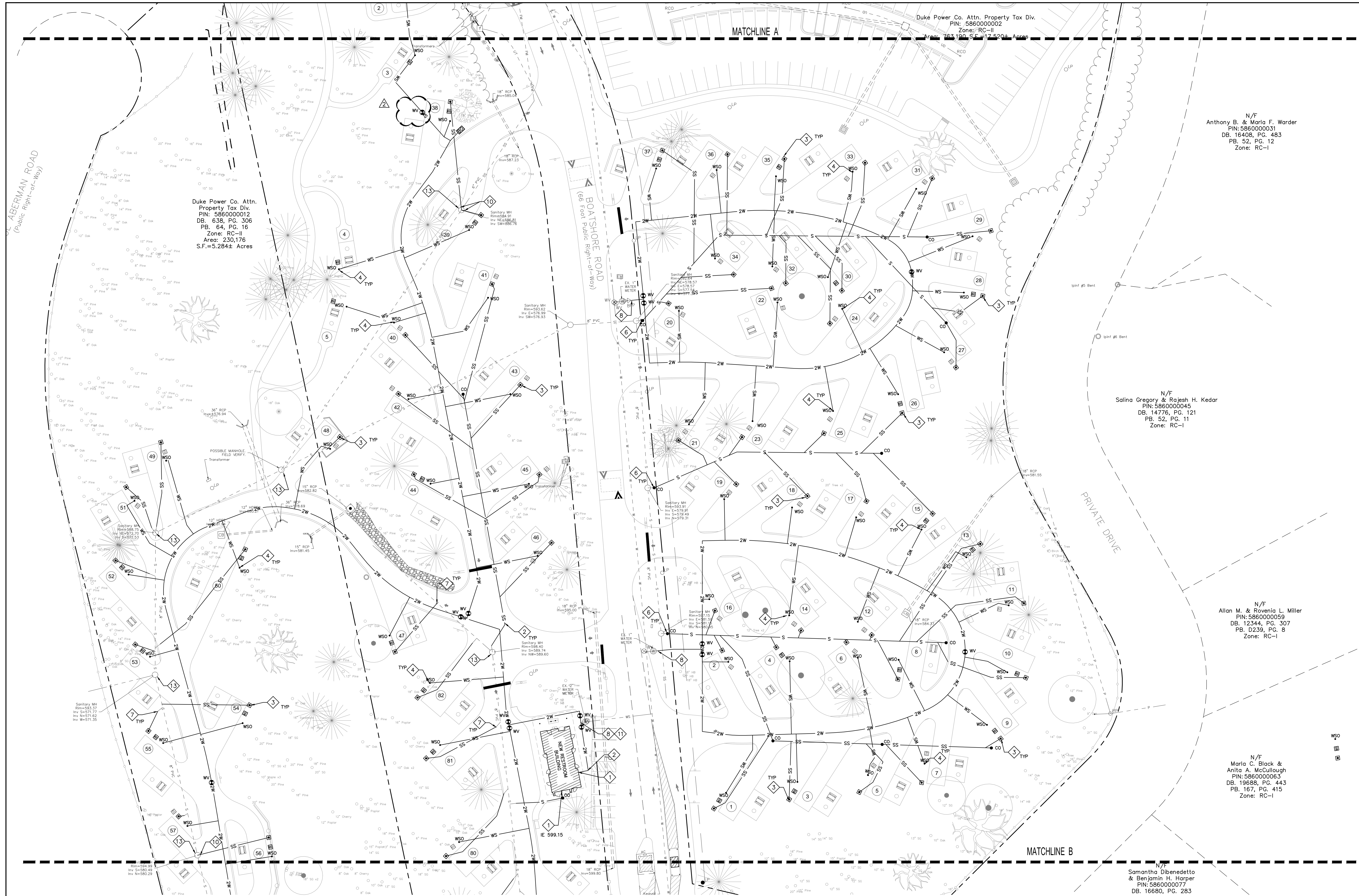
ADC ENGINEERING
CHARLESTON \ COLUMBIA \ GREENVILLE
25 WOODS LAKE ROAD, SUITE 210
GREENVILLE, SC 29607
ph: 864-751-9121
WWW.ADCENGINEERING.COM

811 Know what's below. Call before you dig.

DATE:	03/09/2023
ADC PROJECT #:	21455
DESIGNED:	HP
CHECKED:	LKB
DRAWN:	HP
REVISION:	
	REVISED PERMIT DWGS 06/06/2023
	REVISED PERMIT DWGS 07/14/2023

UTILITY PLAN - AREA 1

C401



Duke Power Co. Attn. Property Tax Div. PIN: 586000012 DB: 638, PG. 306 PB: 64, PG. 16 Zone: RC-II Area: 230,176 S.F.=5.284± Acres

Duke Power Co. Attn. Property Tax Div. PIN: 586000002 Zone: RC-II Area: 183,190 S.F.=4.252± Acres

N/F Anthony B. & Marla F. Worder PIN: 586000031 DB: 16408, PG. 483 PB: 52, PG. 12 Zone: RC-I

N/F Salina Gregory & Rajesh H. Kedar PIN: 586000045 DB: 14776, PG. 121 PB: 52, PG. 11 Zone: RC-I

N/F Allan M. & Rowena L. Miller PIN: 586000059 DB: 12344, PG. 307 PB: D239, PG. 8 Zone: RC-I

N/F Samantha Dibenedetto & Benjamin H. Harper PIN: 586000077 DB: 16680, PG. 283

- UTILITY NOTES:**
- SEE SHEET L001 FOR CIVIL NOTES AND ABBREVIATIONS.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL SITE UTILITIES AND STORM DRAINAGE INSTALLATION SCHEDULES TO AVOID POTENTIAL UTILITY CONFLICTS. GRAVITY DEPENDENT UTILITIES SHALL BE INSTALLED PRIOR TO NON-GRAVITY DEPENDENT UTILITIES.
 - VERIFY UTILITY SERVICE LOCATIONS AND ELEVATIONS WITH PLUMBING PLANS PRIOR TO CONSTRUCTION.
 - ALL MATERIALS, CONSTRUCTION AND PLANS ARE TO COMPLY WITH CURRENT CITY OF ROCK HILL STANDARD SPECIFICATIONS AND DETAILS.
 - CONTACT PALMETTO UTILITY PROTECTION SERVICE (PUPS) AT 811 OR 888-721-7877, A MINIMUM OF 72 HOURS BEFORE DIGGING.
 - ALL CAMP SITES SHALL RECEIVE A NEW 3/4" WATER SERVICE AND YARD HYDRANT. COORDINATE LOCATION WITH YORK COUNTY.
 - ALL CAMP SITES SHALL RECEIVE A NEW 4" SEWER SERVICE AND RV SEWER CONNECTOR. COORDINATE LOCATION WITH YORK COUNTY.
 - WATER AND SEWER SERVICE LOCATIONS ARE APPROXIMATE AND BASED ON OLD DESIGN DRAWINGS AND CITY OF ROCK HILL MAPS. CONTRACTOR SHALL COMPLETE A PRIVATE UTILITY LOCATE AND FIELD VERIFY THE LOCATION OF EXISTING UTILITIES.

- KEYNOTES:**
- SEE PLUMBING PLANS FOR CONTINUATION. INSTALL FITTINGS AS NECESSARY TO CONNECT TO SERVICE.
 - INSTALL BENDS AS NECESSARY.
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 - INSTALL NEW WATER SERVICE AND YARD HYDRANT AT EACH CAMP SITE IAW DETAIL F/C641.
 - INSTALL NEW SEWER MANHOLE ON EXISTING 8" SEWER SERVICE IAW DETAIL B/C640.
 - EXTEND EXISTING SEWER SERVICE AT A 1% MIN. SLOPE IAW DETAILS C/C641 AND D/C641. VERIFY LOCATION AND INVERT OF SEWER SERVICE PRIOR TO CONSTRUCTION.
 - CONNECT NEW SEWER SERVICE TO EXISTING SEWER MAIN/SERVICE IAW DETAIL D/C641. VERIFY LOCATION AND INVERT OF SEWER MAIN/SERVICE PRIOR TO CONSTRUCTION.
 - CONNECT TO EXISTING WATER SERVICE. VERIFY SIZE, LOCATION AND DEPTH OF WATER SERVICE PRIOR TO CONSTRUCTION.
 - EXTEND NEW 3/4" WATER SERVICE FROM BUILDING TO EXTERIOR SHOWER.
 - CONNECT NEW SEWER SERVICE TO EXISTING SEWER MANHOLE IAW DETAIL D/C640.
 - CONNECT TO EXISTING 2" BUILDING SERVICE AND EXTEND NEW 2" SERVICE TO NEW BUILDING.
 - RELOCATE EXISTING 6" DRY FIRE WATER SERVICE TO ACCOMMODATE NEW STORM DRAINAGE.
 - ADJUST MANHOLE COVER TO FINISH GRADE. SEE GRADING PLANS.

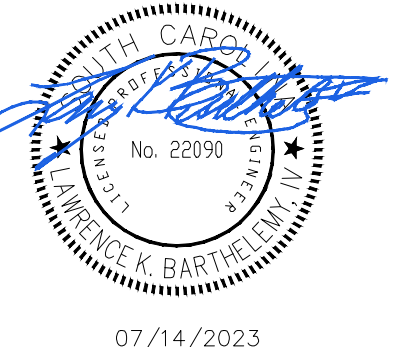
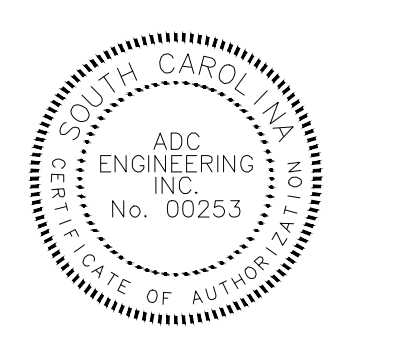
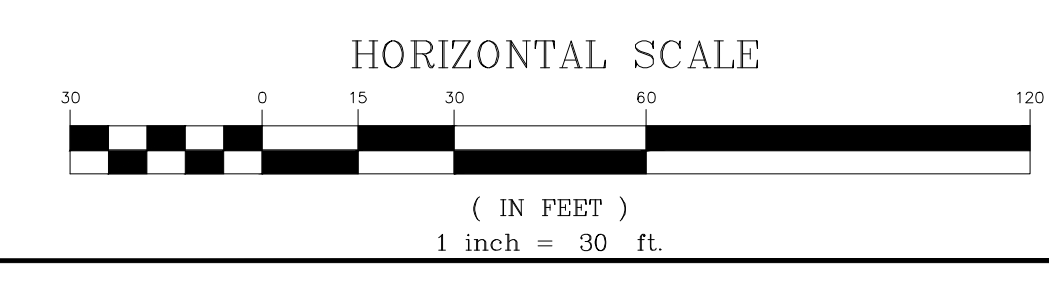
CIVIL LEGEND - UTILITY

	WATER BLOW OFF ASSEMBLY - INSTALL IAW DETAIL B/C641.
	BALL VALVE (MATCH LINE SIZE) - INSTALL IAW DETAIL C/C640.
	YARD HYDRANT - INSTALL IAW DETAIL F/C641. EACH CAMPSITE SHALL RECEIVE A NEW YARD HYDRANT.
	SEWER MANHOLE - INSTALL IAW DETAIL B/C640.
	SEWER CLEANOUT - INSTALL IAW DETAIL D/C641.
	CAMP SITE/RV SEWER CONNECTION - INSTALL IAW DETAIL E/C641. EACH CAMPSITE SHALL RECEIVE A NEW RV SEWER CONNECTION.
	CAMP SITE/RV ELECTRICAL CONNECTION - INSTALL IAW ELECTRICAL PLANS. COORDINATE LOCATION WITH OWNER.
	2" PVC (SDR 13.5) WATER SERVICE
	3/4" COPPER (TYPE K) WATER SERVICE - INSTALL TO NEW CAMP SITES IAW DETAIL IAW DETAIL F/C641.
	4" PVC SEWER SERVICE - INSTALL AT A 1% MINIMUM SLOPE AND IAW DETAIL D/C641.
	6" PVC SEWER SERVICE - INSTALL AT A 1% MINIMUM SLOPE AND IAW DETAIL C/C641.

NOTE:
NO FILL WILL BE PLACED IN THE SPECIAL FLOOD HAZARD AREA (SFHA - 100-YR FLOOD PLAIN). MINOR GRADING WILL TAKE PLACE IN THE SFHA TO ENSURE POSITIVE DRAINAGE.

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Changes/Alterations to this plan may void permit # _____



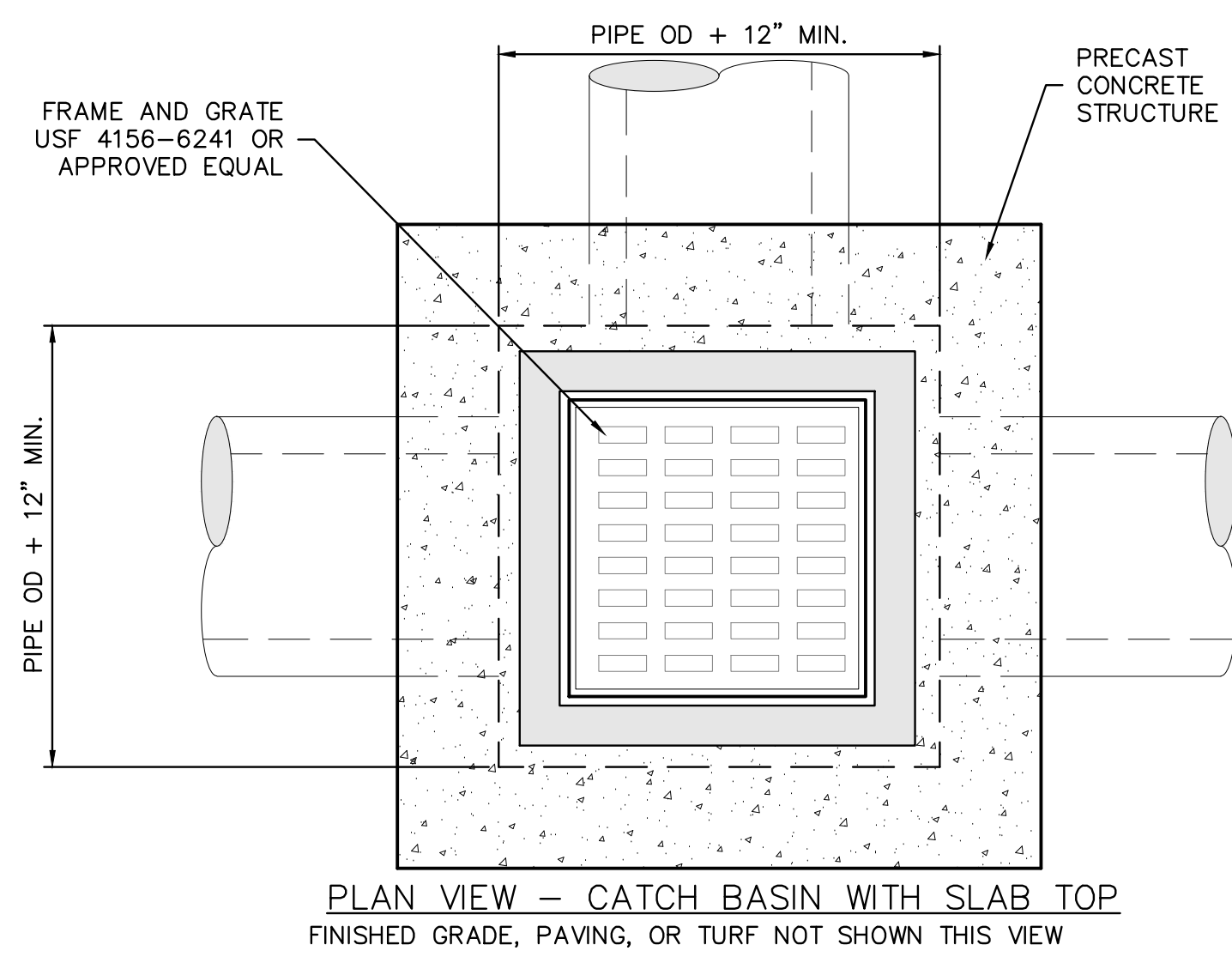
ADC ENGINEERING
CHARLESTON | COLUMBIA | GREENVILLE
25 WOODS LAKE ROAD, SUITE 210
GREENVILLE, SC 29607
ph: 864-751-9121
WWW.ADCENGINEERING.COM

811
CONTRACTOR SHALL CONTACT 811 (1-888-721-7877) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
Know what's below. Call before you dig.

DATE:	03/09/2023
ADC PROJECT #:	21455
DESIGNED:	HP
CHECKED:	LKB
DRAWN:	HP
REVISION:	
	REVISED PERMIT DWGS 06/06/2023
	REVISED PERMIT DWGS 07/14/2023

**UTILITY
PLAN - AREA 2**

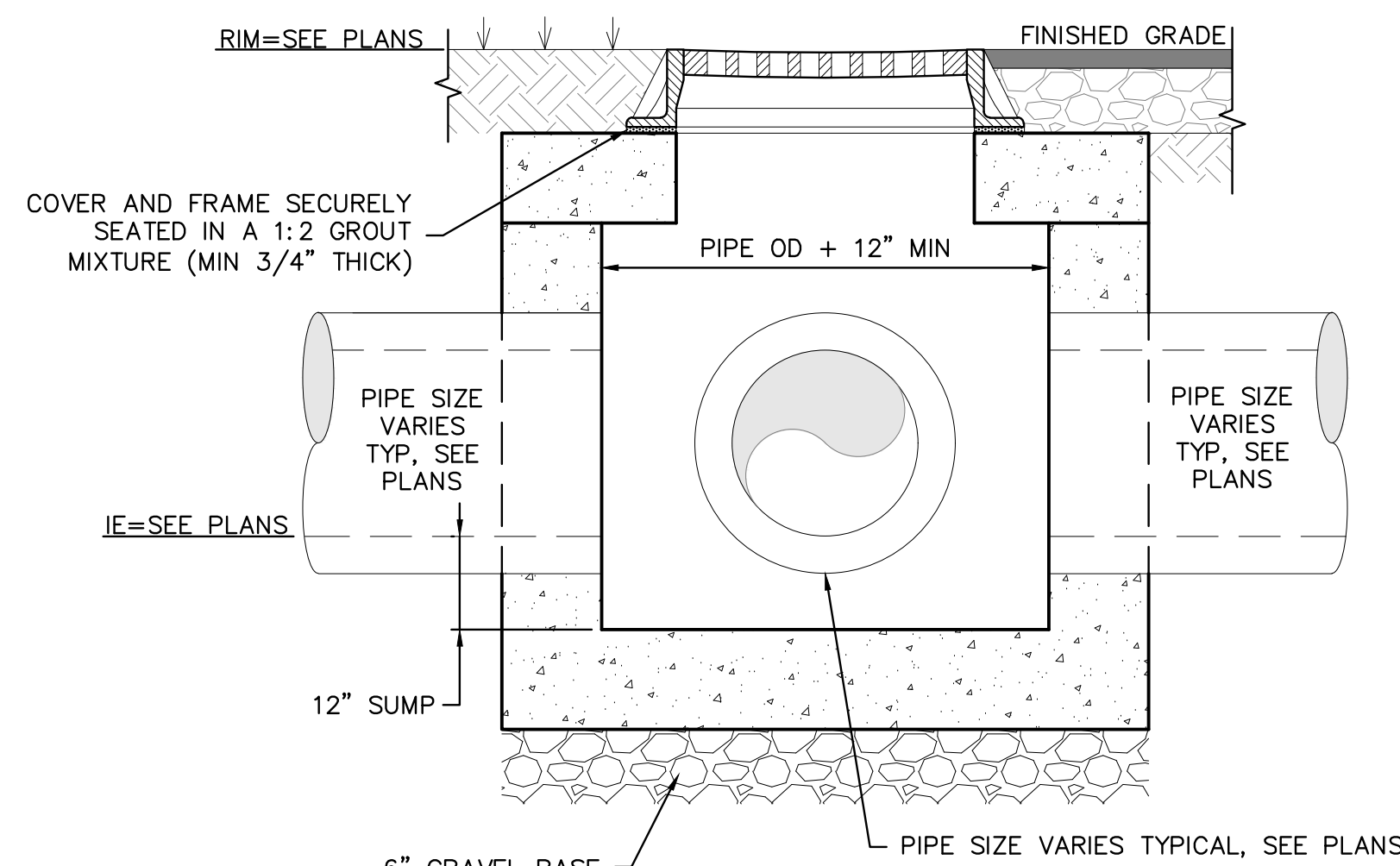
C402



PLAN VIEW - CATCH BASIN WITH SLAB TOP
FINISHED GRADE, PAVING, OR TURF NOT SHOWN THIS VIEW

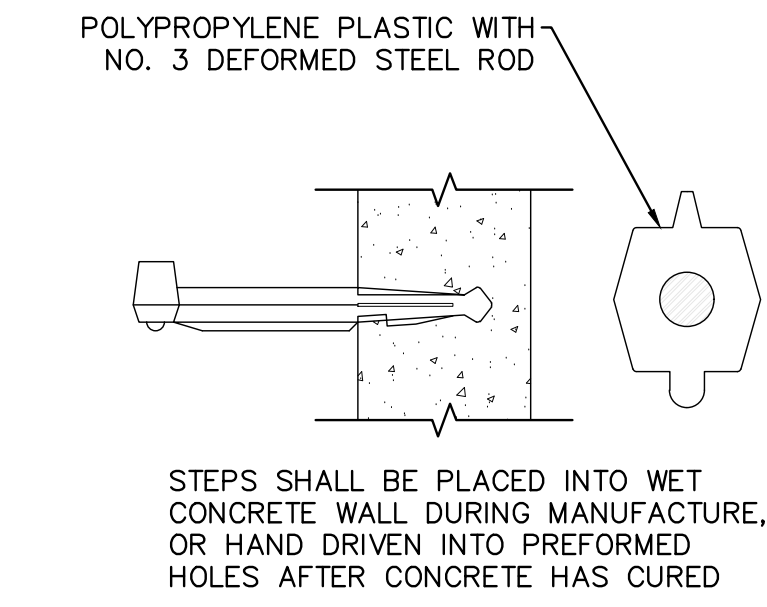
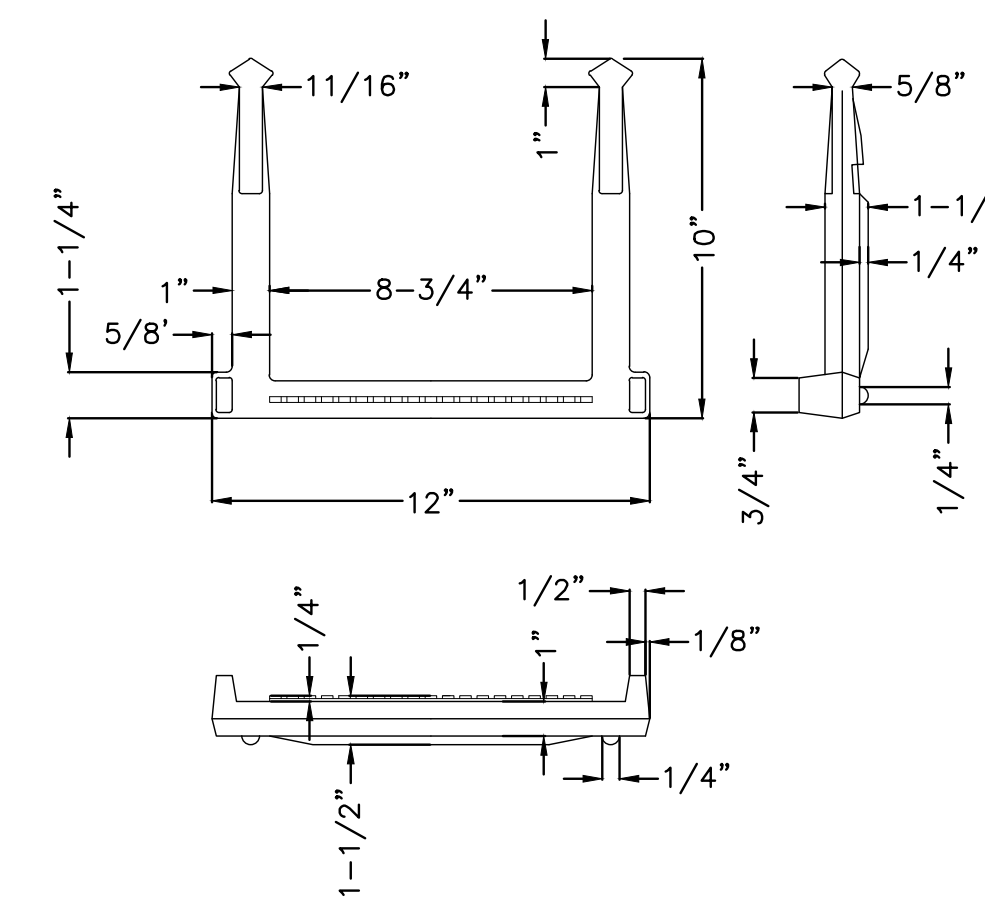
NOTES:

1. PRECAST STRUCTURES SHALL BE DESIGNED BY MANUFACTURER FOR SOIL LOADING AND HS-20 TRAFFIC LOADING.
2. REFER TO PLANS AND PROFILES FOR RIM AND INVERT ELEVATIONS.
3. INSTALL STEPS IN STRUCTURES GREATER THAN 4' DEEP IAW DETAIL C/C630. STEPS SHALL BE PLACED INLINE WITH LID/GRATE.



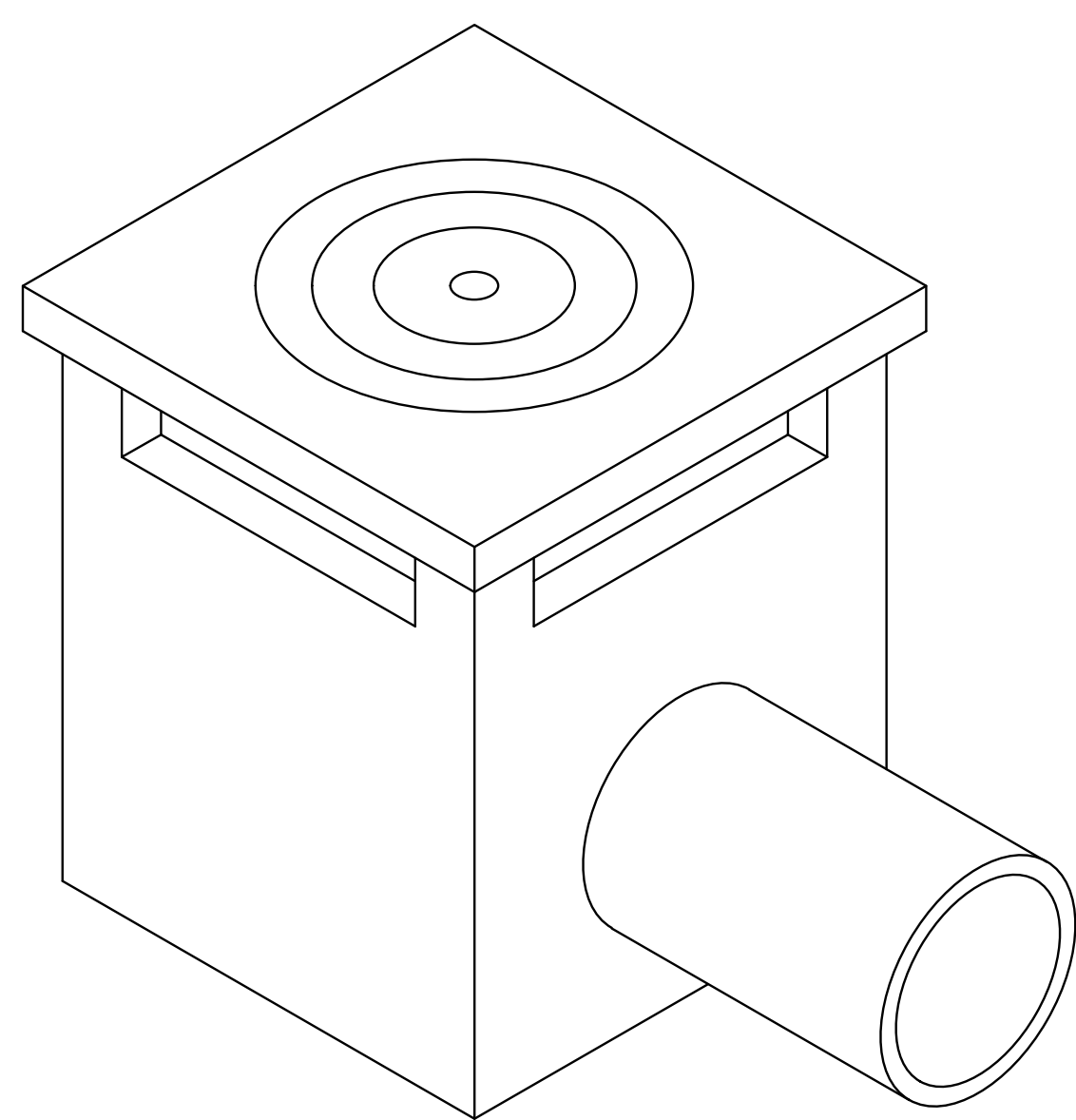
SECTION VIEW CATCH BASIN WITH SLAB TOP

A CATCH BASIN DETAILS

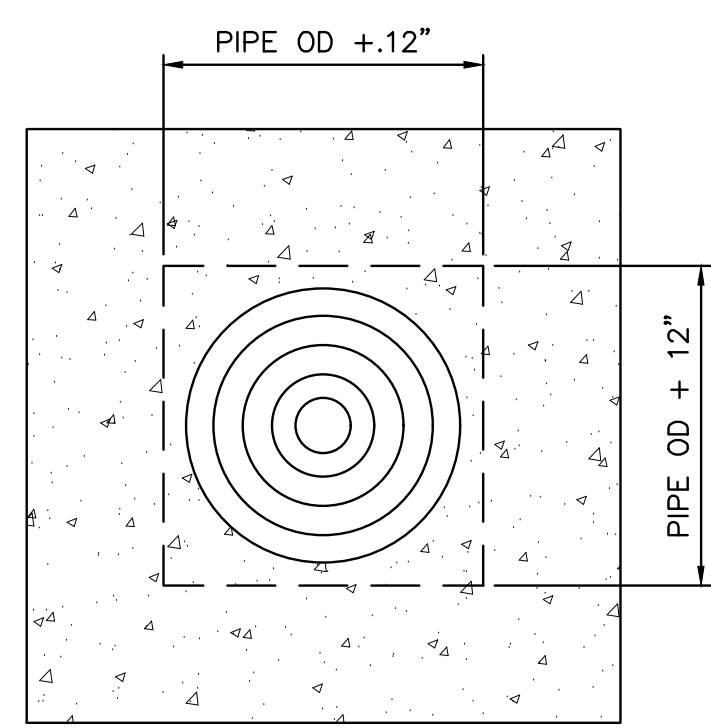


NOTE:
1. REFERENCE SCOD STANDARD DRAWING 719-550-00 FOR DETAILS ON SPACING FOR STEPS.

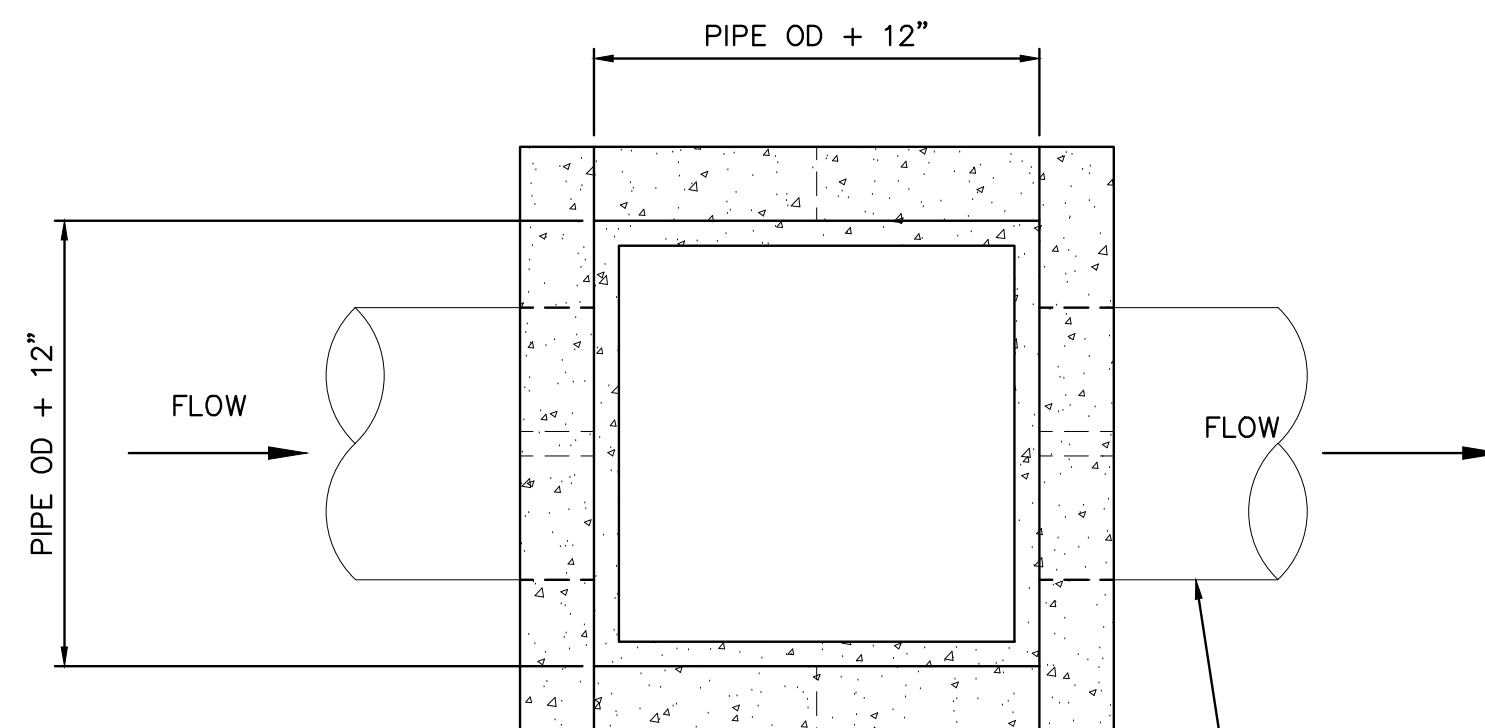
C MANHOLE STEP



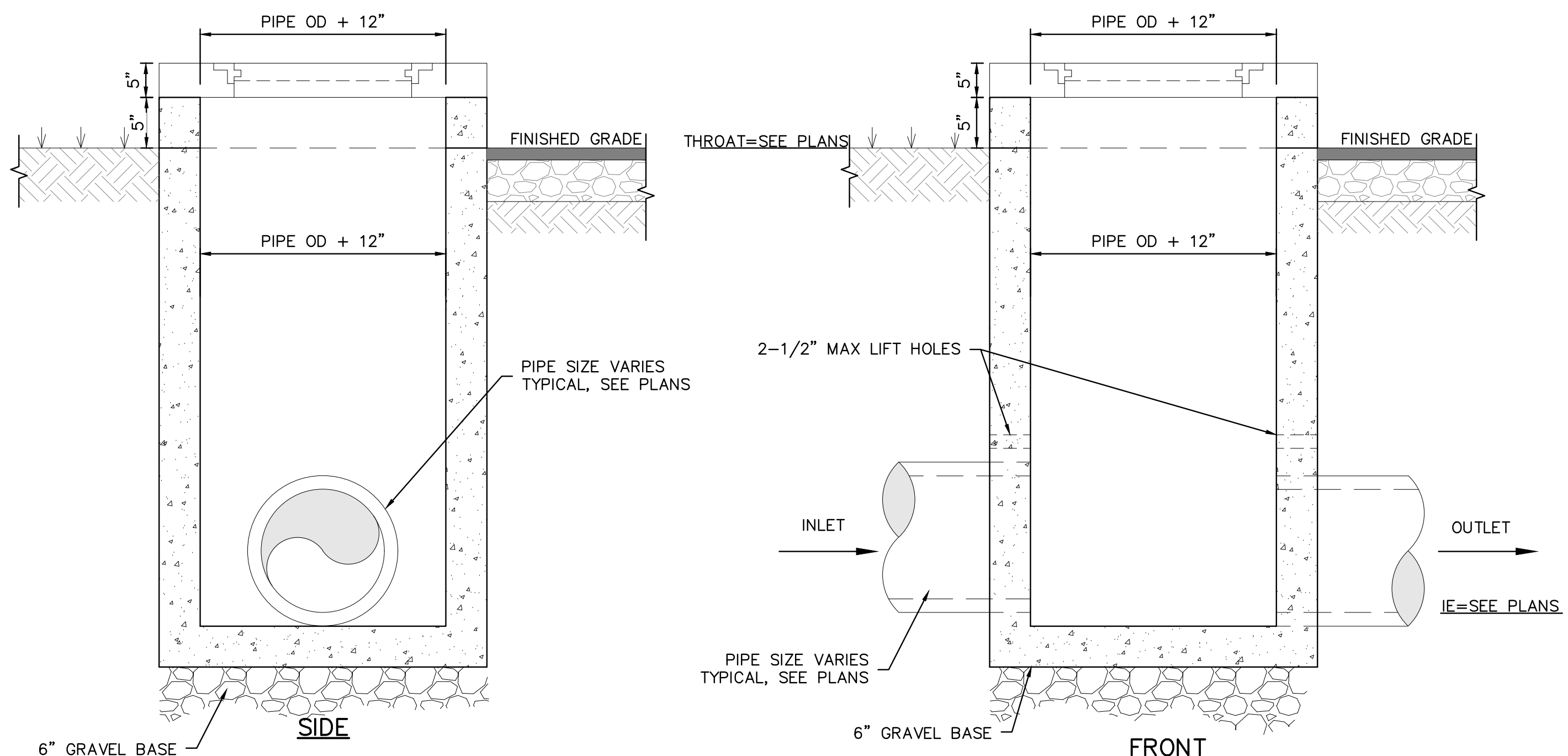
ISOMETRIC



COVER PLAN



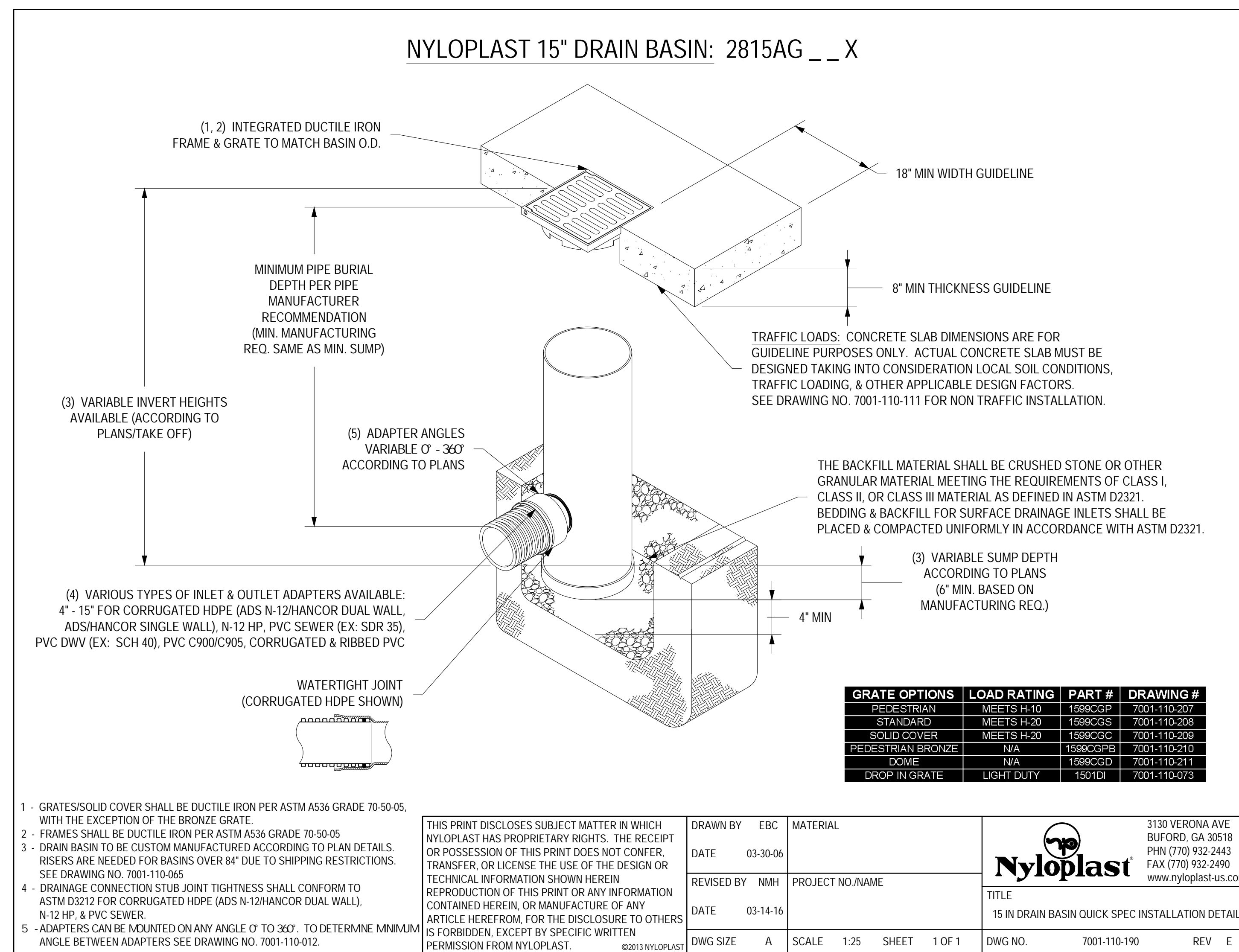
PLAN



B TYPE 9 CATCH BASIN

NOTES:

1. PRECAST STRUCTURES SHALL BE DESIGNED BY MANUFACTURER FOR SOIL LOADING AND HS-20 TRAFFIC LOADING.
2. INSTALL STEPS IN STRUCTURES GREATER THAN 4' DEEP IAW DETAIL C/C630. STEPS SHALL BE PLACED INLINE WITH LID/GRATE.
3. PIPES SHALL CONNECT TO THE ENDS OR SIDES OF THE STRUCTURE. CONNECTION SHALL NOT BE MADE AT CORNERS OF STRUCTURE.
4. REFER TO PLANS AND PROFILES FOR THROAT AND INVERT ELEVATIONS.



GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTRIAN	MEETS H-10	1590CGP	7001-110-207
STANDARD	MEETS H-20	1590CGS	7001-110-208
SOLID COVER	MEETS H-20	1590CGC	7001-110-209
PEDESTRIAN BRONZE	N/A	1590CGPB	7001-110-210
DOME	N/A	1590CGD	7001-110-211
DROP IN GRATE	LIGHT DUTY	1501DI	7001-110-078

1 - GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
 2 - FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
 3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84\"/>

GRATE TYPE	LOCATION OF GRATE
PEDESTRIAN	LI C1
STANDARD	LI A1, LI A2, LI A3, LI A4, LI B1, LI B2
DOME	LI C2

D LAWN INLET DETAIL
NOT TO SCALE

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APPROVED
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 Reviewer: _____ Date: _____
 Zoning: _____
 Engineering: _____
 Inv. Comp: _____
 Changes/Alterations to this plan may void permit # _____

DATE: 03/09/2023
 ADC PROJECT #: 21455
 DESIGNED: HP
 CHECKED: LKB
 DRAWN: HP
 REVISION:
 1. REVISED PERMIT DWGS 06/08/2023
 2. ADDENDUM #1 07/14/2023

CIVIL DETAILS
- STORM DRAINAGE

C630



EROSION CONTROL NOTES:

- SEE SHEET L001 FOR CIVIL NOTES AND ABBREVIATIONS.
- ALL CONTRACTORS/SUBCONTRACTORS/PERSON THAT WILL BE ENGAGED IN LAND DISTURBING ACTIVITIES SHALL COMPLY WITH ALL EROSION CONTROL AND STORMWATER POLLUTION PREVENTION REQUIREMENTS CONTAINED THROUGHOUT THE DRAWINGS, SPECIFICATIONS AND PERMITS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM EXISTING AND NEW STORM DRAINAGE SYSTEMS PRIOR TO COMPLETION OF CONSTRUCTION.
- DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURE TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF-SITE.
- SEE LANDSCAPE PLANS FOR NEW LANDSCAPING AND MULCH AREAS.

CIVIL LEGEND – EROSION CONTROL

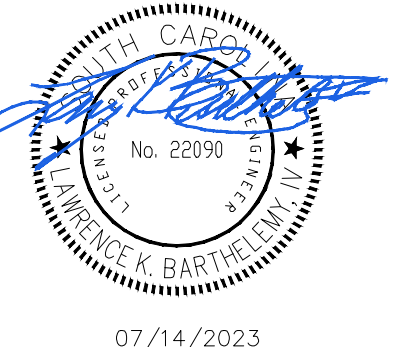
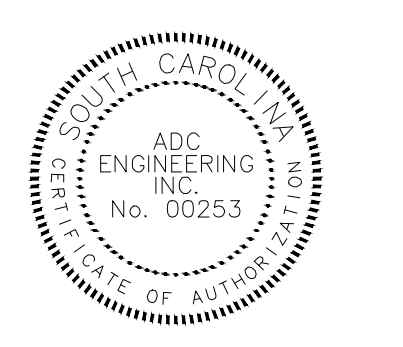
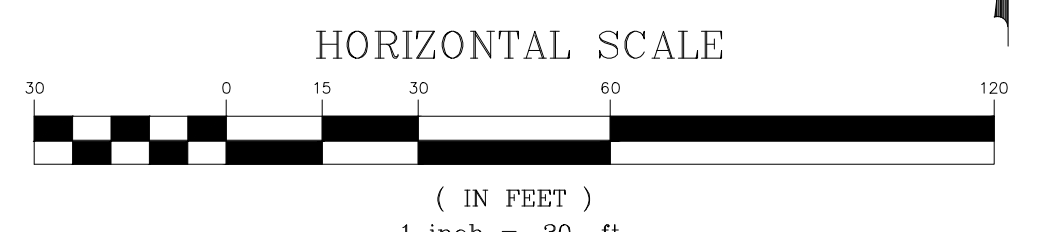
CE	CONSTRUCTION ENTRANCE – INSTALL IAW DETAIL A/C740.	ST	SEDIMENT TUBE CHECK DAM – INSTALL IAW DETAIL F/C740.
SF	REINFORCED SILT FENCE – INSTALL IAW DETAIL C/C740.	CD	ROCK CHECK DAM – INSTALL IAW DETAIL D/C741.
TB	TREE BARRICADE – INSTALL IAW DETAIL D/C740.	IP1	SEDIMENT TUBE IN LET PROTECTION – INSTALL IAW DETAIL C/C741.
TS	TEMPORARY SEEDING – INSTALL IAW DETAIL A/C741 AND CONSTRUCTION GENERAL PERMIT.	RR	RIP RAP APRON – INSTALL IAW DETAIL E/C740.
PS	PERMANENT STABILIZATION – INSTALL IAW DETAIL B/C741 AND LANDSCAPE PLANS.	CW	CONCRETE WASHOUT – INSTALL IAW DETAIL B/C740.
ECB	EROSION CONTROL BLANKET – INSTALL IAW DETAIL G/C740.		LIMITS OF CONSTRUCTION/DISTURBANCE

SEQUENCE OF CONSTRUCTION – INITIAL PHASE:

- OBTAIN THE NPDES PERMIT FROM SCDHEC.
- CONTACT THE SEDIMENT AND EROSION CONTROL INSPECTOR AT 803-909-7157 TO SET UP A PRELIMINARY CONSTRUCTION MEETING 48 HOURS PRIOR TO ANY LAND DISTURBANCE.
- STAKE OUT CLEARING LIMITS AND TREE PROTECTION AREAS.
- CONDUCT LIMITED CLEARING, TIMBERING AND DEMOLITION AS REQUIRED TO INSTALL PERIMETER BEST MANAGEMENT PRACTICES AND CONSTRUCTION ENTRANCES.
- INSTALL TREE BARRICADES, SILT FENCE, INLET PROTECTION, CONCRETE WASHOUTS, AND CONSTRUCTION ENTRANCE AS SHOWN ON THE PLANS.
- MAINTAIN BEST MANAGEMENT PRACTICES THROUGHOUT CONSTRUCTION.

SPECIAL FLOOD HAZARD AREA NOTES:
 1. THE SPECIAL FLOOD HAZARD AREA (SFHA) SHOWN WAS OBTAINED BY A FIELD RUN TOPOGRAPHIC SURVEY.
 2. NO FILL WILL BE PLACED IN THE SPECIAL FLOOD HAZARD AREA (SFHA - 100-YR FLOOD PLAIN). MINOR GRADING WILL TAKE PLACE IN THE SFHA TO ENSURE POSITIVE DRAINAGE.

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ADC ENGINEERING
 CHARLESTON \ COLUMBIA \ GREENVILLE
 25 WOODS LAKE ROAD, SUITE 210
 GREENVILLE, SC 29607
 ph: 864-751-9121
 WWW.ADCENGINEERING.COM

811 Know what's below. Call before you dig.
 CONTRACTOR SHALL CONTACT 811 (1-888-721-7871) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.

DATE: 03/09/2023

ADC PROJECT #: 21455

DESIGNED: HP

CHECKED: LKB

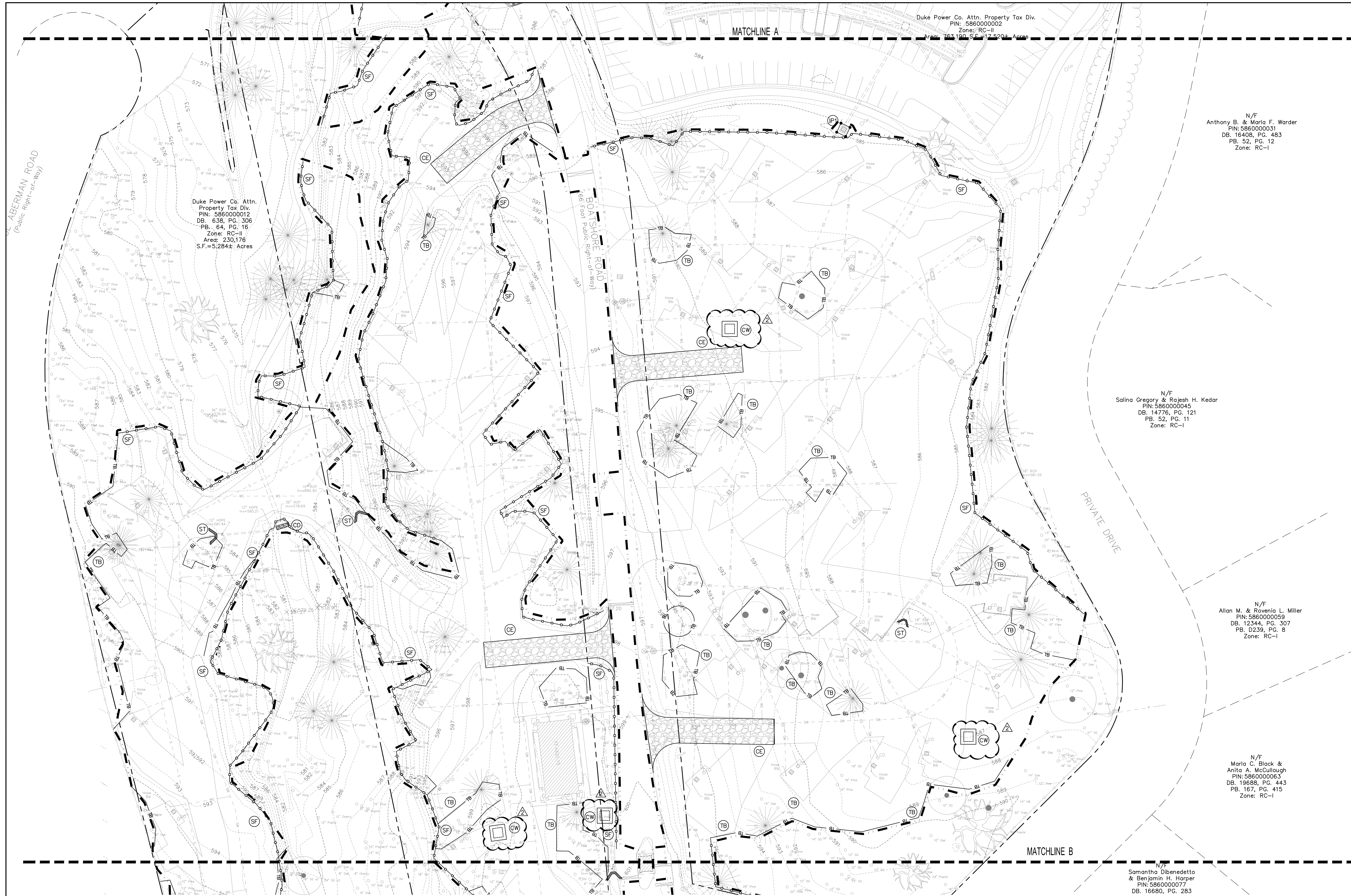
DRAWN: HP

REVISION:

△	REVISED PERMIT DWGS	06/06/2023
△	REVISED PERMIT DWGS	07/14/2023

**EROSION CONTROL
 PLAN - INITIAL PHASE
 - AREA 1**

C711



Duke Power Co. Attn. Property Tax Div.
 PIN: 586000012
 DB: 638, PG. 306
 PB: 64, PG. 16
 Zone: RC-II
 Area: 230,176
 S.F. = 5,284 ± Acres

Duke Power Co. Attn. Property Tax Div.
 PIN: 586000002
 Zone: RC-II
 Area: 163,190 S.F. = 3,720 ± Acres

N/F
 Anthony B. & Marla F. Worder
 PIN: 586000031
 DB: 16408, PG. 483
 PB: 52, PG. 12
 Zone: RC-I

N/F
 Salina Gregory & Rajesh H. Kedar
 PIN: 586000045
 DB: 14776, PG. 121
 PB: 52, PG. 11
 Zone: RC-I

N/F
 Allan M. & Rovennia L. Miller
 PIN: 586000059
 DB: 12344, PG. 307
 PB: D239, PG. 8
 Zone: RC-I

N/F
 Maria C. Black & Anita A. McCullough
 PIN: 586000063
 DB: 19988, PG. 443
 PB: 167, PG. 415
 Zone: RC-I

N/F
 Samantha Dibenedetto
 & Benjamin H. Harper
 PIN: 586000077
 DB: 16680, PG. 283

EROSION CONTROL NOTES:

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- REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM EXISTING AND NEW STORM DRAINAGE SYSTEMS PRIOR TO COMPLETION OF CONSTRUCTION.
- DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURE TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF-SITE.
- SEE LANDSCAPE PLANS FOR NEW LANDSCAPING AND MULCH AREAS.

CIVIL LEGEND – EROSION CONTROL

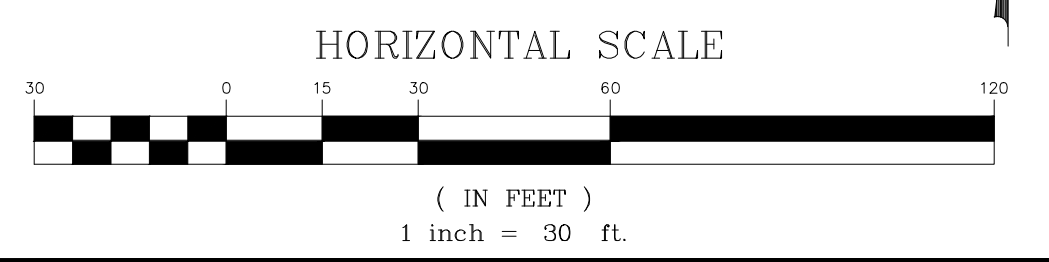
CE	CONSTRUCTION ENTRANCE – INSTALL IAW DETAIL A/C740.	SF	SEDIMENT TUBE CHECK DAM – INSTALL IAW DETAIL F/C740.
SF	REINFORCED SILT FENCE – INSTALL IAW DETAIL C/C740.	CD	ROCK CHECK DAM – INSTALL IAW DETAIL D/C741.
TB	TREE BARRICADE – INSTALL IAW DETAIL D/C740.	IP1	SEDIMENT TUBE IN LET PROTECTION – INSTALL IAW DETAIL C/C741.
TS	TEMPORARY SEEDING – INSTALL IAW DETAIL A/C741 AND CONSTRUCTION GENERAL PERMIT.	RR	RIP RAP APRON – INSTALL IAW DETAIL E/C740.
PS	PERMANENT STABILIZATION – INSTALL IAW DETAIL B/C741 AND LANDSCAPE PLANS.	CW	CONCRETE WASHOUT – INSTALL IAW DETAIL B/C740.
ECB	EROSION CONTROL BLANKET – INSTALL IAW DETAIL G/C740.		LIMITS OF CONSTRUCTION/DISTURBANCE

SEQUENCE OF CONSTRUCTION – INITIAL PHASE:

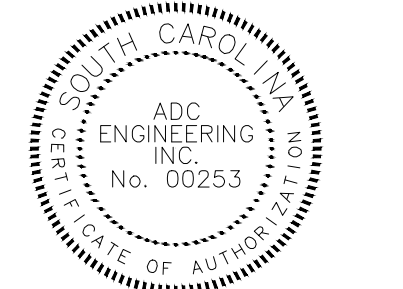
- OBTAIN THE NPDES PERMIT FROM SCDHEC.
- CONTACT THE SEDIMENT AND EROSION CONTROL INSPECTOR AT 803-909-7157 TO SET UP A PRELIMINARY CONSTRUCTION MEETING 48 HOURS PRIOR TO ANY LAND DISTURBANCE.
- STAKE OUT CLEARING LIMITS AND TREE PROTECTION AREAS.
- CONDUCT LIMITED CLEARING, TIMBERING AND DEMOLITION AS REQUIRED TO INSTALL PERIMETER BEST MANAGEMENT PRACTICES AND CONSTRUCTION ENTRANCES.
- INSTALL TREE BARRICADES, SILT FENCE, INLET PROTECTION, CONCRETE WASHOUTS, AND CONSTRUCTION ENTRANCE AS SHOWN ON THE PLANS.
- MAINTAIN BEST MANAGEMENT PRACTICES THROUGHOUT CONSTRUCTION.

SPECIAL FLOOD HAZARD AREA NOTES:
 1. THE SPECIAL FLOOD HAZARD AREA (SFHA) SHOWN WAS OBTAINED BY A FIELD RUN TOPOGRAPHIC SURVEY.
 2. NO FILL WILL BE PLACED IN THE SPECIAL FLOOD HAZARD AREA (SFHA - 100-YR FLOOD PLAIN). MINOR GRADING WILL TAKE PLACE IN THE SFHA TO ENSURE POSITIVE DRAINAGE.

FOR YORK COUNTY USE ONLY
APPROVED
 Subject to York County Code of Ordinances by initials and date below:
 Zoning: _____ Date: _____
 Engineering: _____
 Env Comp: _____
 Changes/Alterations to this plan may void permit # _____



YORK COUNTY
 York, South Carolina
**EBENEZER PARK
 PHASE II IMPROVEMENTS**
 ROCK HILL
 SOUTH CAROLINA



07/14/2023

ADC ENGINEERING
 CHARLESTON \ COLUMBIA \ GREENVILLE
 25 WOODS LAKE ROAD, SUITE 210
 GREENVILLE, SC 29607
 ph: 864-751-9121
 WWW.ADCENGINEERING.COM

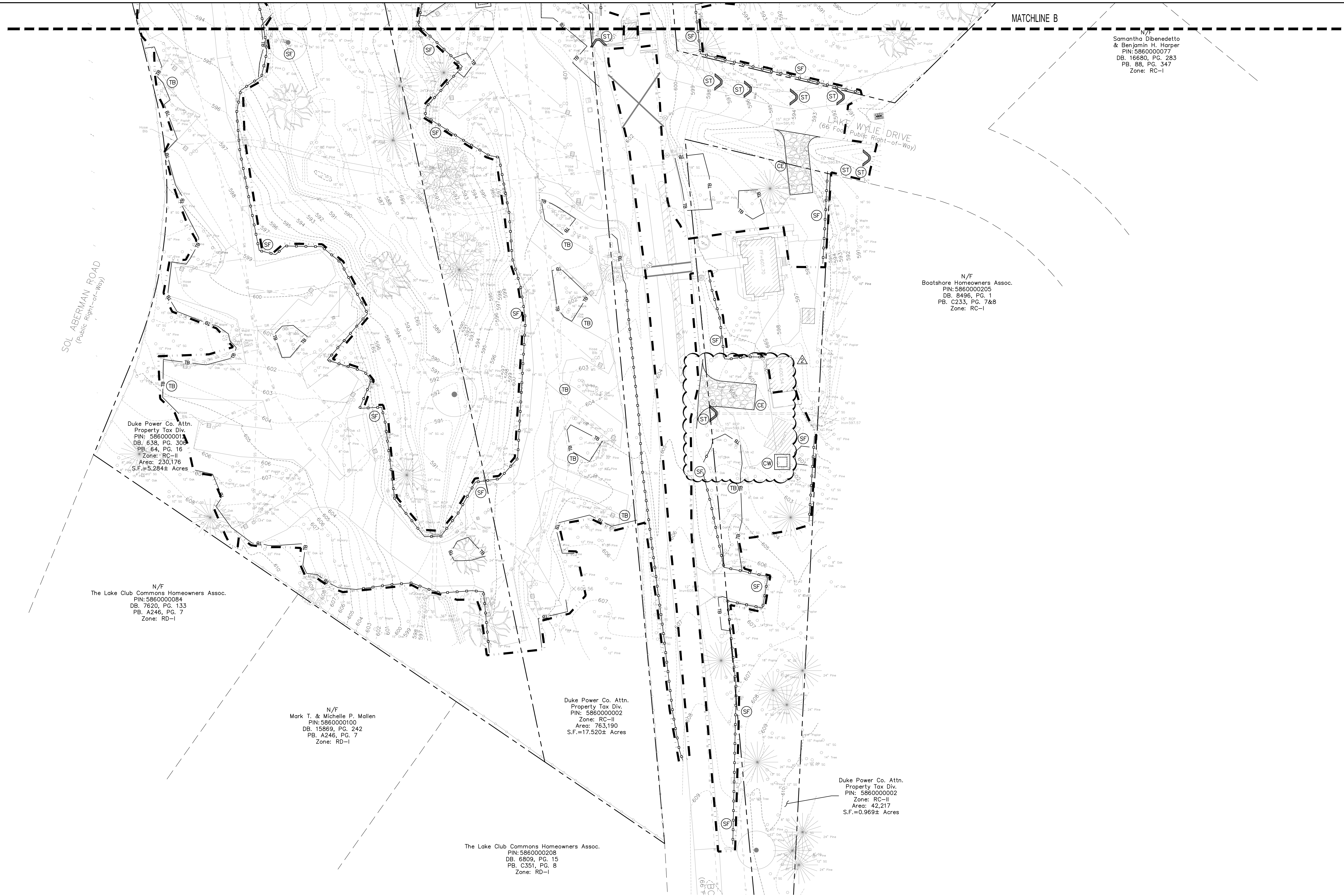


DATE:	03/09/2023
ADC PROJECT #:	21455
DESIGNED:	HP
CHECKED:	LXB
DRAWN:	HP
REVISION:	
△	REVISED PERMIT DWGS 06/06/2023
△	REVISED PERMIT DWGS 07/14/2023

**EROSION CONTROL
 PLAN - INITIAL PHASE
 - AREA 2**

C712

PERMIT SET



N/F
Samantha Dibenedetto
& Benjamin H. Harper
PIN: 586000077
DB. 16680, PG. 283
PB. 88, PG. 347
Zone: RC-1

N/F
Boatshore Homeowners Assoc.
PIN: 586000205
DB. 9496, PG. 1
PB. C233, PG. 7&8
Zone: RC-1

Duke Power Co. Attn.
Property Tax Div.
PIN: 586000018
DB. 638, PG. 308
PB. 64, PG. 16
Zone: RC-II
Area: 230,176
S.F. = 5,284± Acres

N/F
The Lake Club Commons Homeowners Assoc.
PIN: 586000084
DB. 7620, PG. 133
PB. A246, PG. 7
Zone: RD-I

N/F
Mark T. & Michelle P. Mallen
PIN: 586000100
DB. 15869, PG. 242
PB. A246, PG. 7
Zone: RD-I

Duke Power Co. Attn.
Property Tax Div.
PIN: 586000002
Zone: RC-II
Area: 763,190
S.F. = 17,520± Acres

Duke Power Co. Attn.
Property Tax Div.
PIN: 586000002
Zone: RC-II
Area: 42,217
S.F. = 0,969± Acres

The Lake Club Commons Homeowners Assoc.
PIN: 586000208
DB. 6809, PG. 15
PB. C351, PG. 8
Zone: RD-I

EROSION CONTROL NOTES:

- SEE SHEET L001 FOR CIVIL NOTES AND ABBREVIATIONS.
- ALL CONTRACTORS/SUBCONTRACTORS/PERSON THAT WILL BE ENGAGED IN LAND DISTURBING ACTIVITIES SHALL COMPLY WITH ALL EROSION CONTROL AND STORMWATER POLLUTION PREVENTION REQUIREMENTS CONTAINED THROUGHOUT THE DRAWINGS, SPECIFICATIONS AND PERMITS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM EXISTING AND NEW STORM DRAINAGE SYSTEMS PRIOR TO COMPLETION OF CONSTRUCTION.
- DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURE TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF-SITE.
- SEE LANDSCAPE PLANS FOR NEW LANDSCAPING AND MULCH AREAS.

CIVIL LEGEND – EROSION CONTROL

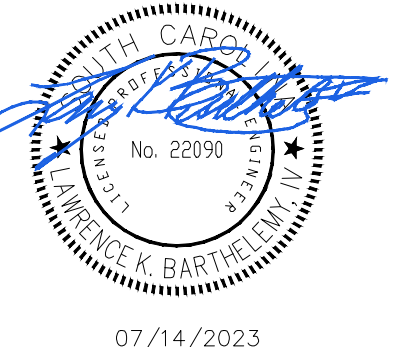
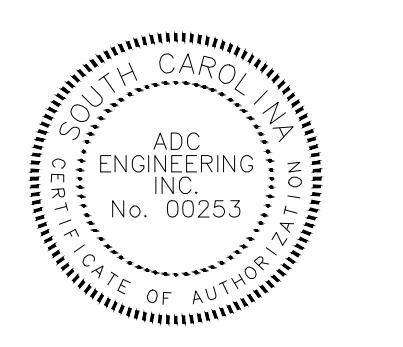
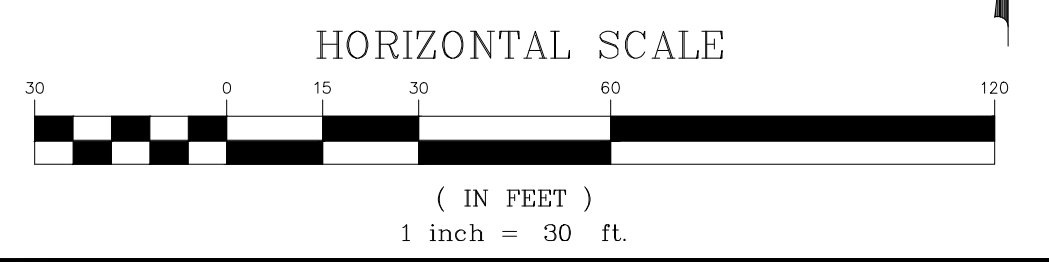
CONSTRUCTION ENTRANCE – INSTALL IAW DETAIL A/C740.	SEDIMENT TUBE CHECK DAM – INSTALL IAW DETAIL F/C740.
REINFORCED SILT FENCE – INSTALL IAW DETAIL C/C740.	ROCK CHECK DAM – INSTALL IAW DETAIL D/C741.
TREE BARRICADE – INSTALL IAW DETAIL D/C740.	SEDIMENT TUBE IN LET PROTECTION – INSTALL IAW DETAIL C/C741.
TEMPORARY SEEDING – INSTALL IAW DETAIL A/C741 AND CONSTRUCTION GENERAL PERMIT.	RIP RAP APRON – INSTALL IAW DETAIL E/C740.
PERMANENT STABILIZATION – INSTALL IAW DETAIL B/C741 AND LANDSCAPE PLANS.	CONCRETE WASHOUT – INSTALL IAW DETAIL B/C740.
EROSION CONTROL BLANKET – INSTALL IAW DETAIL G/C740.	LIMITS OF CONSTRUCTION/DISTURBANCE

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Engineering: _____
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07/14/2023

ADC
ENGINEERING
CHARLESTON \ COLUMBIA \ GREENVILLE
25 WOODS LAKE ROAD, SUITE 210
GREENVILLE, SC 29607
ph: 864-751-9121
WWW.ADCENGINEERING.COM

811 Know what's below. Call before you dig.
CONTRACTOR SHALL CONTACT 811 (1-888-721-7871) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.

DATE: 03/09/2023

ADC PROJECT #: 21455

DESIGNED: HP

CHECKED: LKB

DRAWN: HP

REVISION:

△	REVISED PERMIT DWGS	06/06/2023
△	REVISED PERMIT DWGS	07/14/2023

**EROSION CONTROL
PLAN - INITIAL PHASE
- AREA 3**

C713



N/F
John M. Aberman
PIN: 5860000057
DB. 564, PG. 389
PB. 52, PG. 12
Zone: RC-II

Duke Power Co. Attn.
Property Tax Div.
PIN: 5860000002
Zone: RC-II
Area: 763,190
S.F.=17,520± Acres

Duke Power Co. Attn.
Property Tax Div.
PIN: 5860000002
Zone: RC-II
Area: 763,190
S.F.=17,520± Acres

N/F
Theofilos D. & Andra Fotopoulos
PIN: 5860000062
DB. 173, PG. 185
PB. 88, PG. 435
Zone: RC-I

N/F
Theofilos D. & Andra Fotopoulos
PIN: 5860000062
DB. 173, PG. 185
PB. 88, PG. 435
Zone: RC-I

Duke Power Co. Attn. Property Tax Div.
PIN: 5860000002
Zone: RC-II
Area: 763,190 S.F.=17,520± Acres

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CIVIL LEGEND - EROSION CONTROL

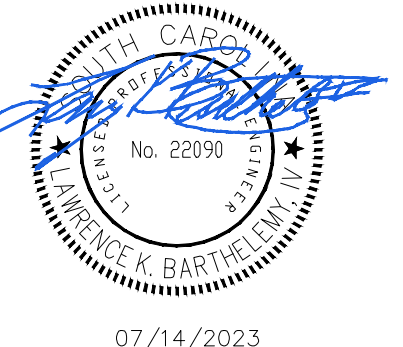
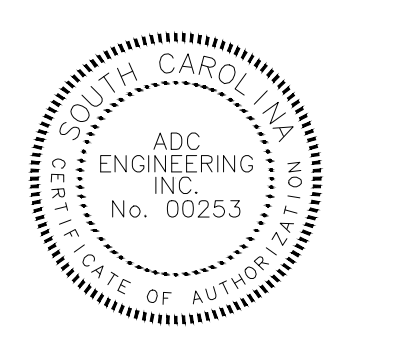
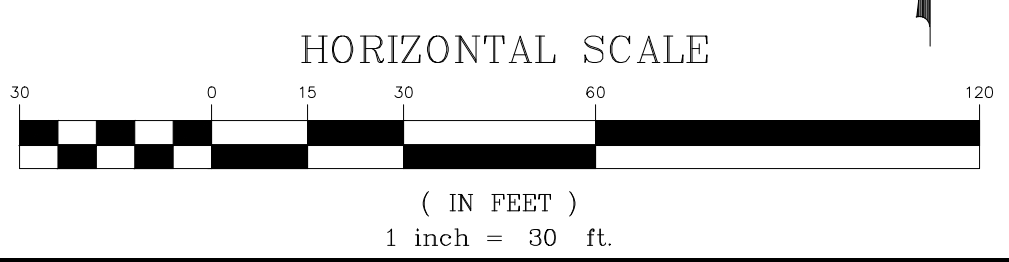
CE	CONSTRUCTION ENTRANCE - INSTALL IAW DETAIL A/C740.	SF	SEDIMENT TUBE CHECK DAM - INSTALL IAW DETAIL F/C740.
RF	REINFORCED SILT FENCE - INSTALL IAW DETAIL C/C740.	CD	ROCK CHECK DAM - INSTALL IAW DETAIL D/C741.
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TS	TEMPORARY SEEDING - INSTALL IAW DETAIL A/C741 AND CONSTRUCTION GENERAL PERMIT.	RR	RIP RAP APRON - INSTALL IAW DETAIL E/C740.
PS	PERMANENT STABILIZATION - INSTALL IAW DETAIL B/C741 AND LANDSCAPE PLANS.	CW	CONCRETE WASHOUT - INSTALL IAW DETAIL B/C740.
ECB	EROSION CONTROL BLANKET - INSTALL IAW DETAIL G/C740.		LIMITS OF CONSTRUCTION/DISTURBANCE

SEQUENCE OF CONSTRUCTION - CONSTRUCTION PHASE:

- OBTAIN THE FINAL LAND DISTURBANCE PERMIT FROM YORK COUNTY.
- INSTALL REMAINING EROSION CONTROL BMPS.
- CONDUCT GRADING AS SHOWN ON GRADING PLAN.
- ADJUST SILT FENCE AND OTHER BMPS AS THE SITE IS BROUGHT UP TO GRADE.
- TEMPORARY SEED OTHER DISTURBED AREAS IAW THE PLANS AND THE CONSTRUCTION GENERAL PERMIT.
- BEGIN BUILDING AND CAMP GROUND CONSTRUCTION.
- INSTALL STORM DRAINAGE AND UTILITIES.
- INSTALL INLET PROTECTION AS DRAINAGE STRUCTURES ARE COMPLETED.
- PREPARE SITE FOR PAVING.
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07/14/2023

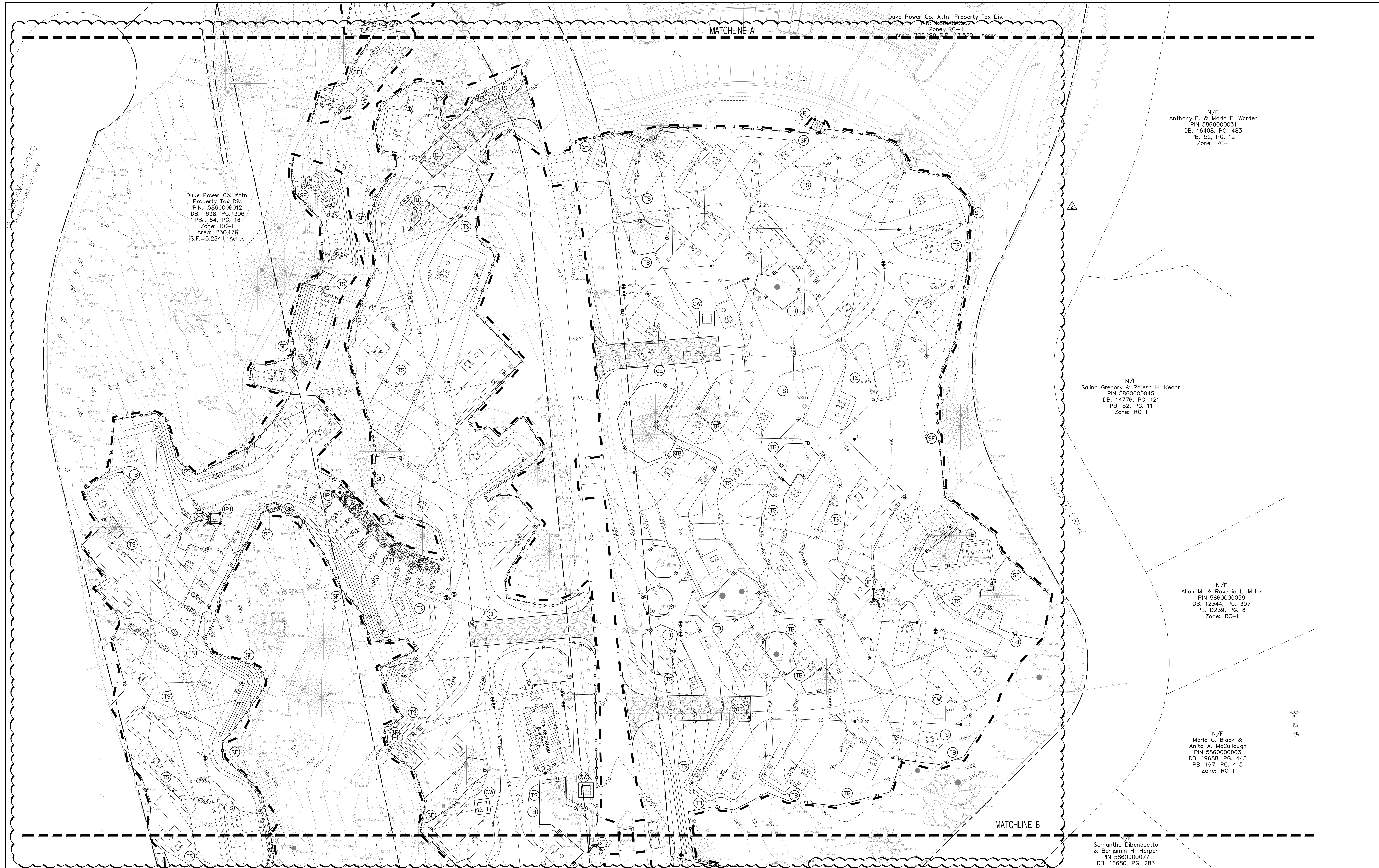
ADC ENGINEERING
CHARLESTON \ COLUMBIA \ GREENVILLE
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ADC PROJECT #:	21455
DESIGNED:	HP
CHECKED:	LKB
DRAWN:	HP
REVISION:	
△	REVISED PERMIT DWGS 06/06/2023
△	REVISED PERMIT DWGS 07/14/2023

**EROSION CONTROL
PLAN - CONSTRUCTION
PHASE - AREA 1**

C721



Duke Power Co. Attn. Property Tax Div.
 PIN: 586000012
 DB: 638, PG. 306
 PB: 64, PG. 16
 Zone: RC-II
 Area: 230,176
 S.F. = 5,284 ± Acres

Duke Power Co. Attn. Property Tax Div.
 PIN: 586000062
 Zone: RC-II
 Area: 163,190 ± Acres

N/F
 Anthony B. & Marla F. Worder
 PIN: 586000031
 DB: 16408, PG. 483
 PB: 52, PG. 12
 Zone: RC-I

N/F
 Salina Gregory & Rajesh H. Kedar
 PIN: 586000045
 DB: 14776, PG. 121
 PB: 52, PG. 11
 Zone: RC-I

N/F
 Allan M. & Rowena L. Miller
 PIN: 586000059
 DB: 12344, PG. 307
 PB: D239, PG. 8
 Zone: RC-I

N/F
 Maria C. Black & Anita A. McCullough
 PIN: 586000063
 DB: 19688, PG. 443
 PB: 167, PG. 415
 Zone: RC-I

N/F
 Samantha Dibenedetto & Benjamin H. Harper
 PIN: 586000077
 DB: 16680, PG. 283

EROSION CONTROL NOTES:

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CIVIL LEGEND - EROSION CONTROL

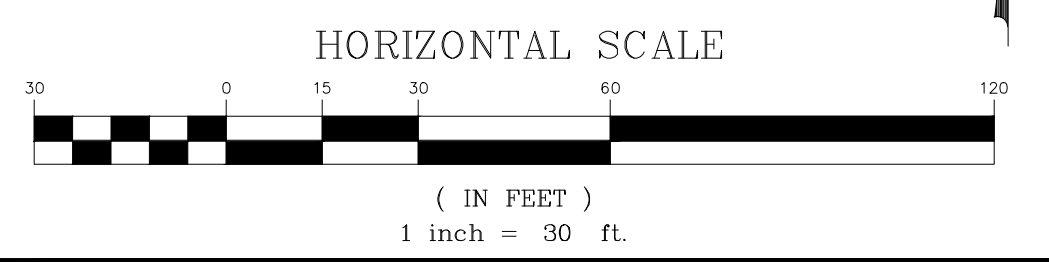
CE	CONSTRUCTION ENTRANCE - INSTALL IAW DETAIL A/C740.	SF	SEDIMENT TUBE CHECK DAM - INSTALL IAW DETAIL F/C740.
SF	REINFORCED SILT FENCE - INSTALL IAW DETAIL C/C740.	CD	ROCK CHECK DAM - INSTALL IAW DETAIL D/C741.
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ECB	EROSION CONTROL BLANKET - INSTALL IAW DETAIL G/C740.		LIMITS OF CONSTRUCTION/DISTURBANCE

SEQUENCE OF CONSTRUCTION - CONSTRUCTION PHASE:

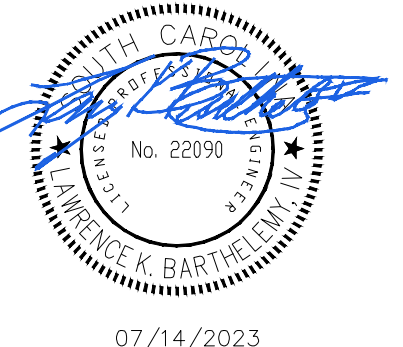
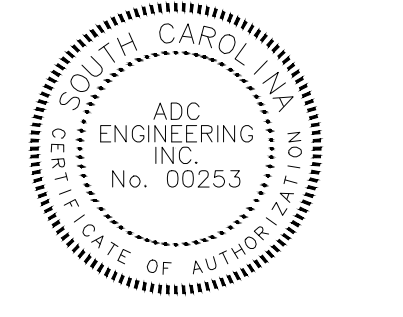
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- ADJUST SILT FENCE AND OTHER BMPs AS THE SITE IS BROUGHT UP TO GRADE.
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- INSTALL STORM DRAINAGE AND UTILITIES.
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 York, South Carolina
**EBENEZER PARK
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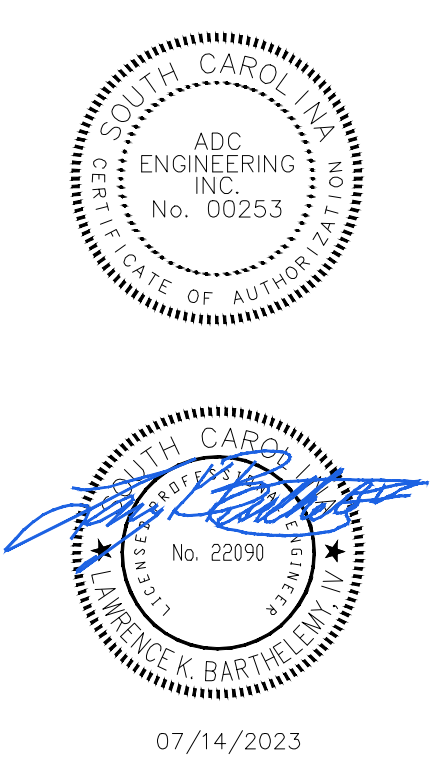


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CHECKED:	LXB
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REVISION:	
△	REVISED PERMIT DWGS 06/06/2023
△	REVISED PERMIT DWGS 07/14/2023

**EROSION CONTROL
 PLAN - CONSTRUCTION
 PHASE - AREA 2**

C722

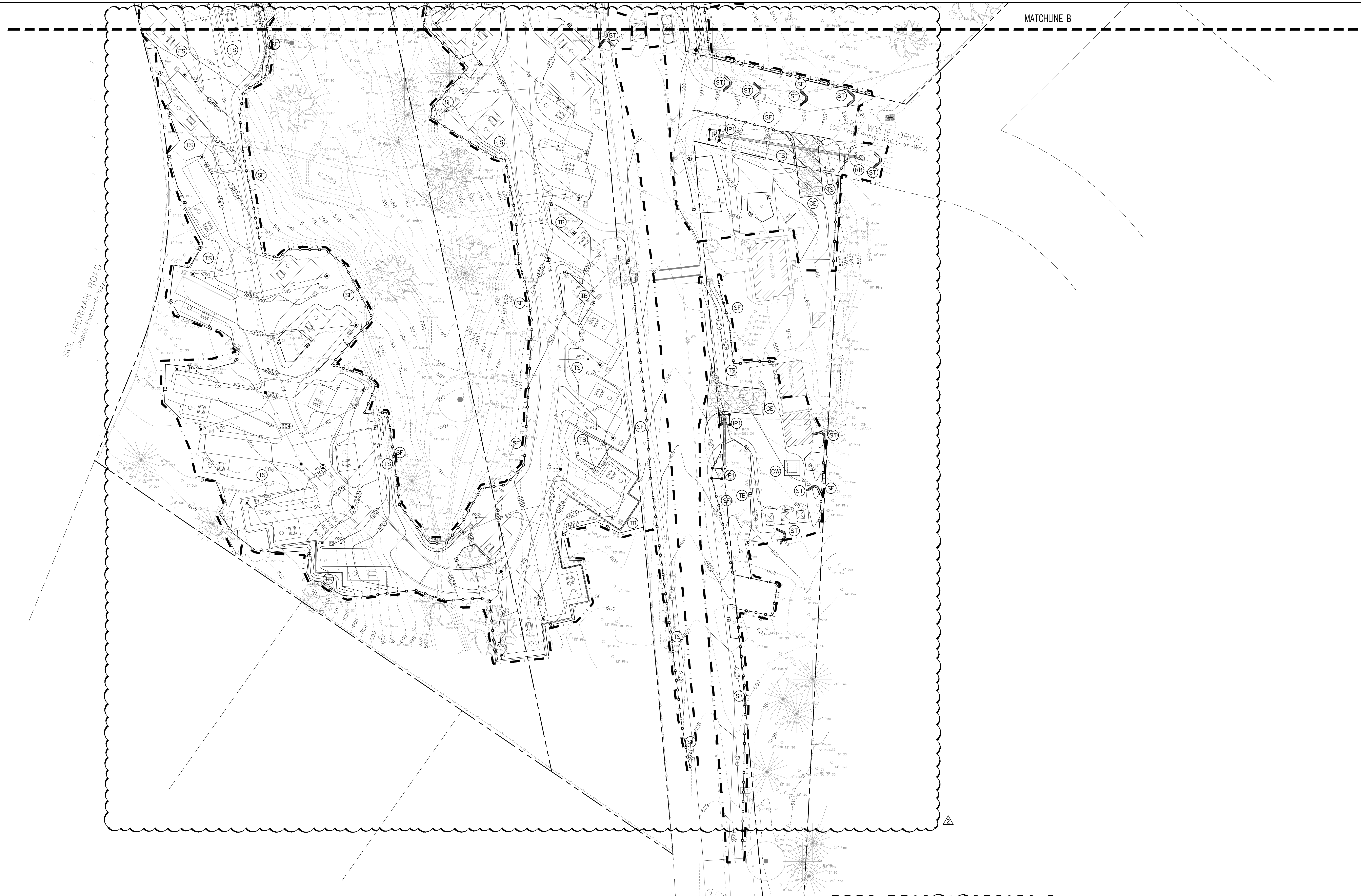
PERMIT SET



DATE:	03/09/2023
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CHECKED:	LKB
DRAWN:	HP
REVISION:	
△	REVISED PERMIT DWGS 06/06/2023
△	REVISED PERMIT DWGS 07/14/2023

**EROSION CONTROL
PLAN - CONSTRUCTION
PHASE - AREA 3**

C723



EROSION CONTROL NOTES:

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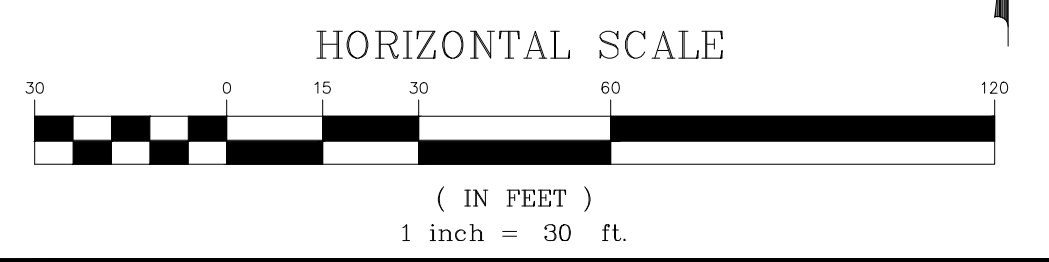
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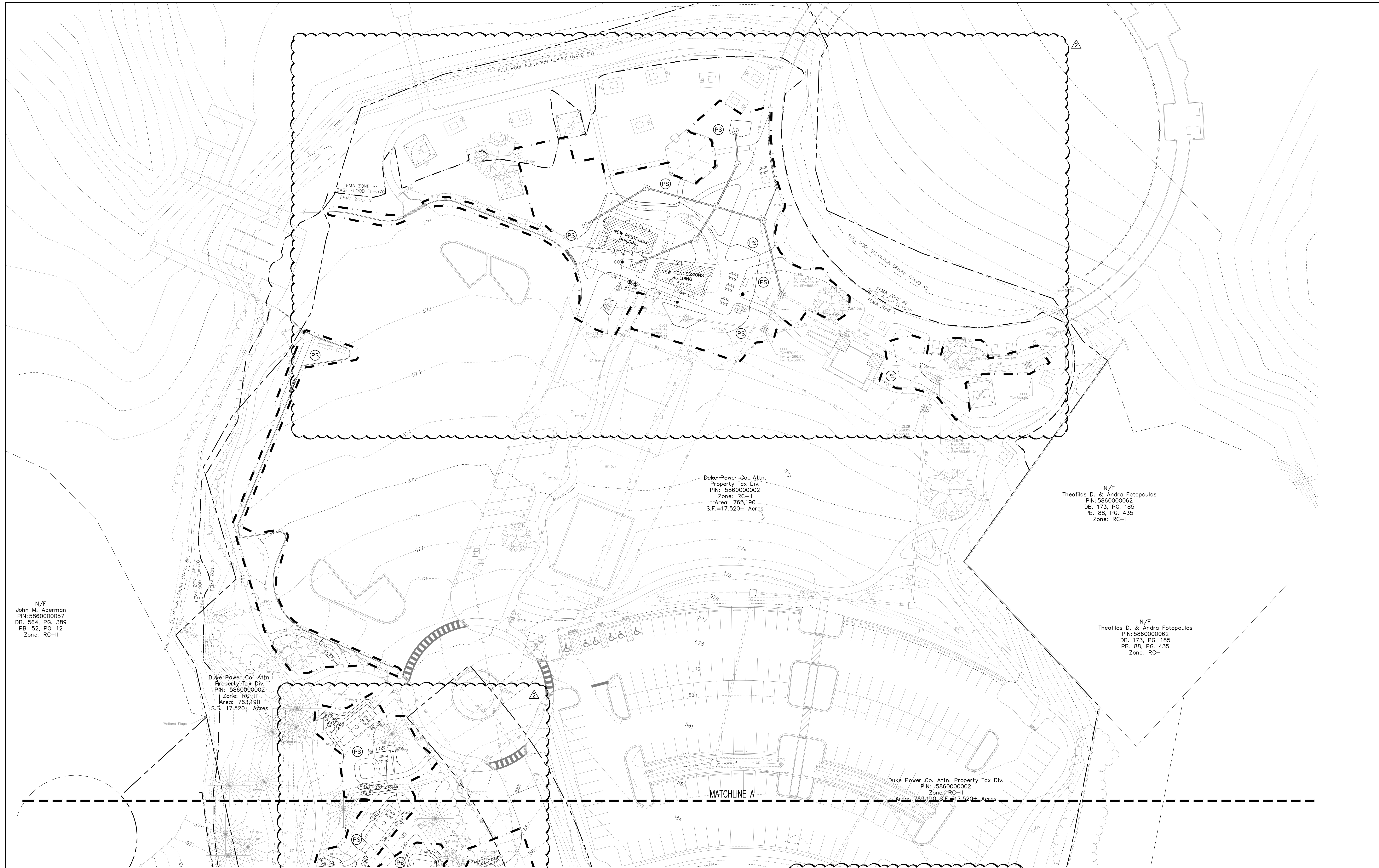
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EROSION CONTROL NOTES:

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2. ALL CONTRACTORS/SUBCONTRACTORS/PERSON THAT WILL BE ENGAGED IN LAND DISTURBING ACTIVITIES SHALL COMPLY WITH ALL EROSION CONTROL AND STORMWATER POLLUTION PREVENTION REQUIREMENTS CONTAINED THROUGHOUT THE DRAWINGS, SPECIFICATIONS AND PERMITS.
3. REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM EXISTING AND NEW STORM DRAINAGE SYSTEMS PRIOR TO COMPLETION OF CONSTRUCTION.
4. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURE TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF-SITE.
5. SEE LANDSCAPE PLANS FOR NEW LANDSCAPING AND MULCH AREAS.

CIVIL LEGEND - EROSION CONTROL

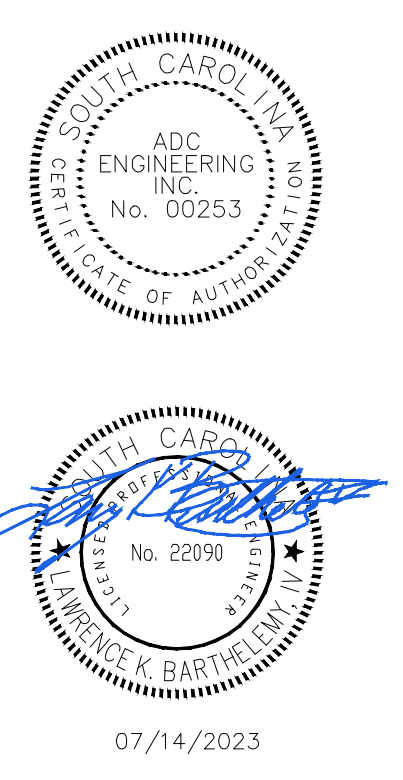
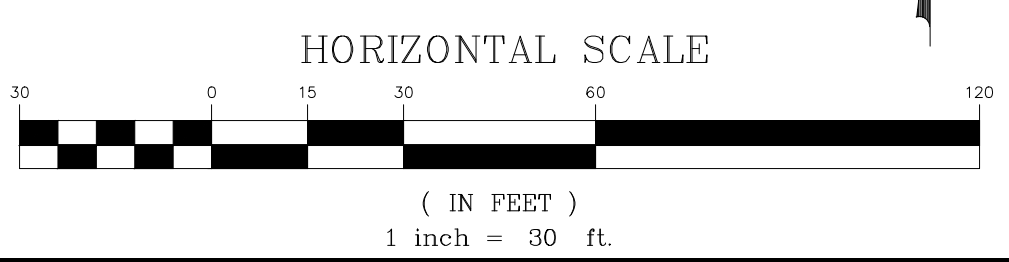
CE	CONSTRUCTION ENTRANCE - INSTALL IAW DETAIL A/C740.	ST	SEDIMENT TUBE CHECK DAM - INSTALL IAW DETAIL F/C740.
RF	REINFORCED SILT FENCE - INSTALL IAW DETAIL C/C740.	CD	ROCK CHECK DAM - INSTALL IAW DETAIL D/C741.
TB	TREE BARRICADE - INSTALL IAW DETAIL D/C740.	IP1	SEDIMENT TUBE IN LET PROTECTION - INSTALL IAW DETAIL C/C741.
TS	TEMPORARY SEEDING - INSTALL IAW DETAIL A/C741 AND CONSTRUCTION GENERAL PERMIT.	RR	RIP RAP APRON - INSTALL IAW DETAIL E/C740.
PS	PERMANENT STABILIZATION - INSTALL IAW DETAIL B/C741 AND LANDSCAPE PLANS.	CW	CONCRETE WASHOUT - INSTALL IAW DETAIL B/C740.
ECB	EROSION CONTROL BLANKET - INSTALL IAW DETAIL G/C740.		LIMITS OF CONSTRUCTION/DISTURBANCE

SEQUENCE OF CONSTRUCTION - STABILIZATION PHASE:

1. PERMANENTLY STABILIZE REMAINING DISTURBED AREAS IAW LANDSCAPE PLAN AND DETAILS.
2. MAINTAIN BEST MANAGEMENT PRACTICES THROUGHOUT CONSTRUCTION.
3. REMOVE SEDIMENT AND DEBRIS FROM ALL STORM DRAINAGE AND STRUCTURES.
4. PROVIDE ASBULTS OF THE NEW STORM DRAINAGE IMPROVEMENTS.
5. SCHEDULE AN ONSITE INSPECTION WITH YORK COUNTY, SCOHEC AND THE ENGINEER AFTER THE SITE IS FULLY STABILIZED.
6. REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL AFTER APPROVAL OF THE ENGINEER AND THE INSPECTOR. STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE BEST MANAGEMENT PRACTICES.
7. CONTINUE INSPECTION REPORTS IAW CONSTRUCTION GENERAL PERMIT UNTIL THE SITE IS FULLY STABILIZED AND THE NOTICE OF TERMINATION HAS BEEN APPROVED BY YORK COUNTY AND SCDHEC.

SPECIAL FLOOD HAZARD AREA NOTES:
 1. THE SPECIAL FLOOD HAZARD AREA (SFHA) SHOWN WAS OBTAINED BY A FIELD RUN TOPOGRAPHIC SURVEY.
 2. NO FILL WILL BE PLACED IN THE SPECIAL FLOOD HAZARD AREA (SFHA - 100-YR FLOOD PLAIN). MINOR GRADING WILL TAKE PLACE IN THE SFHA TO ENSURE POSITIVE DRAINAGE.

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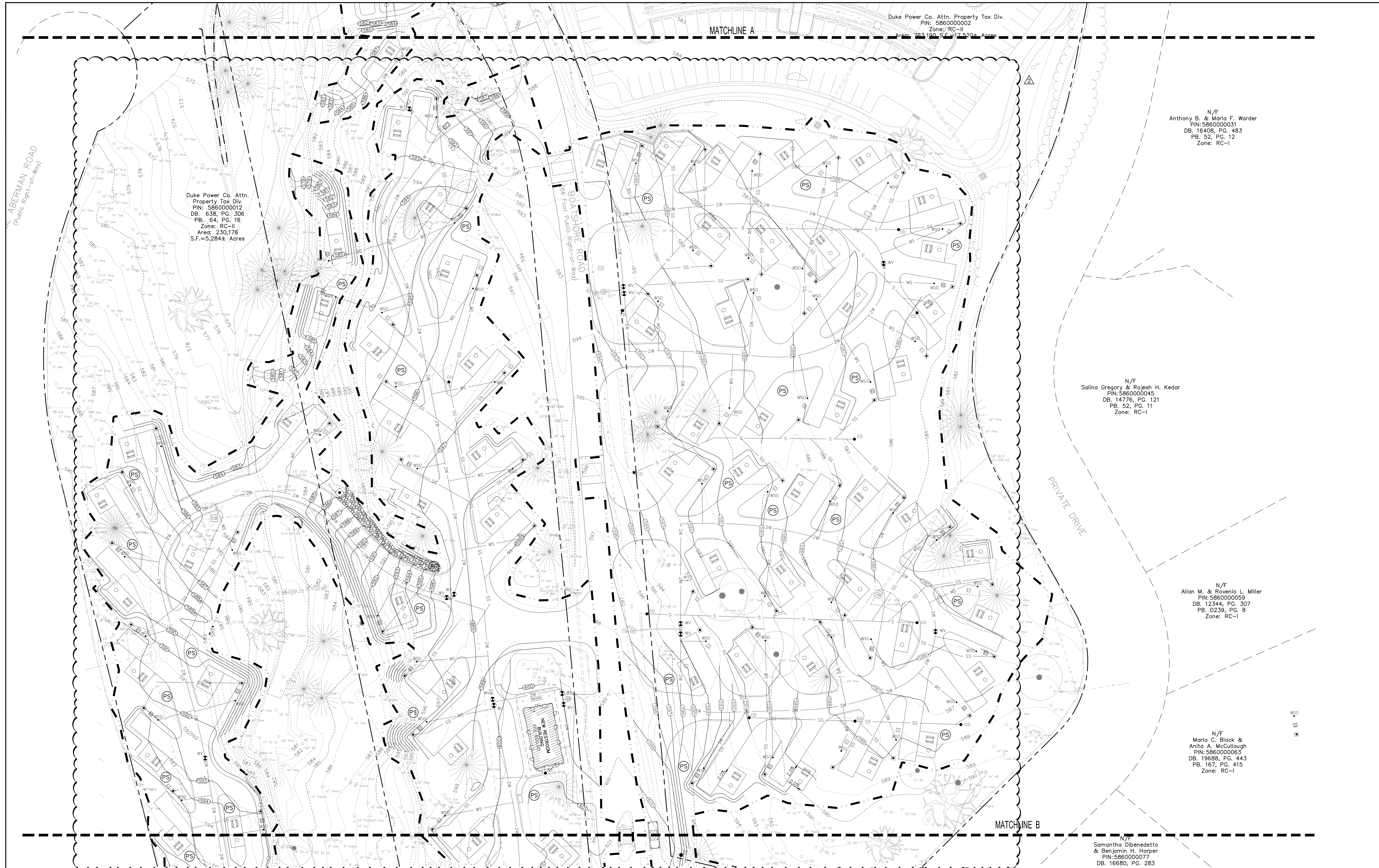
ADC ENGINEERING
 CHARLESTON | COLUMBIA | GREENVILLE
 25 WOODS LAKE ROAD, SUITE 210
 GREENVILLE, SC 29607
 ph: 864-751-9121
 WWW.ADCENGINEERING.COM

811 Know what's below. Call before you dig.
 CONTRACTOR SHALL CONTACT 811 (1-888-721-7871) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.

DATE:	03/09/2023
ADC PROJECT #:	21455
DESIGNED:	HP
CHECKED:	LKB
DRAWN:	HP
REVISION:	
△	REVISED PERMIT DWGS 07/14/2023

**EROSION CONTROL
 PLAN - STABILIZATION
 PHASE - AREA 1**

C731



Duke Power Co. Attn. Property Tax Div.
 PIN: 586000002
 Zone: RC-II
 Area: 163,190 S.F. = 3.72 Acres

Duke Power Co. Attn. Property Tax Div.
 PIN: 586000012
 DB: 638, PG. 306
 PB: 64, PG. 16
 Zone: RC-II
 Area: 230,176 S.F. = 5.284± Acres

N/F
 Anthony B. & Marla F. Worder
 PIN: 586000031
 DB: 16408, PG. 483
 PB: 52, PG. 12
 Zone: RC-I

N/F
 Salina Gregory & Rajesh H. Kedar
 PIN: 586000045
 DB: 14776, PG. 121
 PB: 52, PG. 11
 Zone: RC-I

N/F
 Allan M. & Rowena L. Miller
 PIN: 586000059
 DB: 12344, PG. 307
 PB: D239, PG. 8
 Zone: RC-I

N/F
 Maria C. Black & Anita A. McCullough
 PIN: 586000063
 DB: 19988, PG. 443
 PB: 167, PG. 415
 Zone: RC-I

N/F
 Samantha Dibenedetto & Benjamin H. Harper
 PIN: 586000077
 DB: 16680, PG. 283

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CIVIL LEGEND - EROSION CONTROL

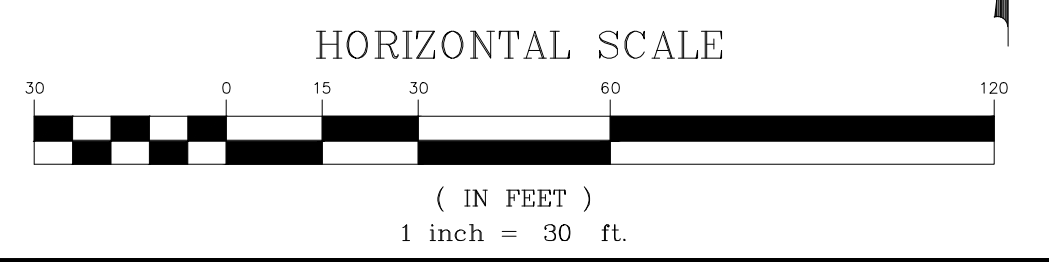
CONSTRUCTION ENTRANCE - INSTALL IAW DETAIL A/C740.	SEDIMENT TUBE CHECK DAM - INSTALL IAW DETAIL F/C740.
REINFORCED SILT FENCE - INSTALL IAW DETAIL C/C740.	ROCK CHECK DAM - INSTALL IAW DETAIL D/C741.
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EROSION CONTROL BLANKET - INSTALL IAW DETAIL G/C740.	LIMITS OF CONSTRUCTION/DISTURBANCE

SEQUENCE OF CONSTRUCTION - STABILIZATION PHASE:

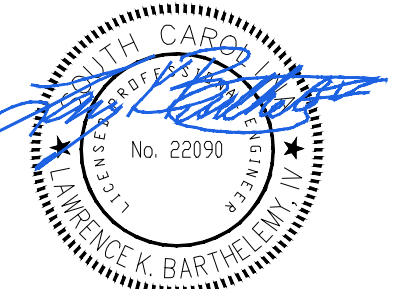
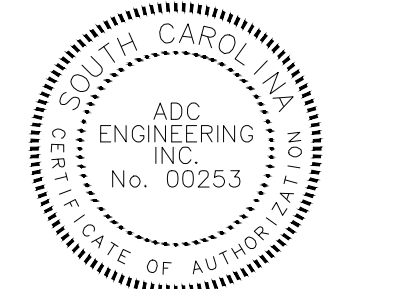
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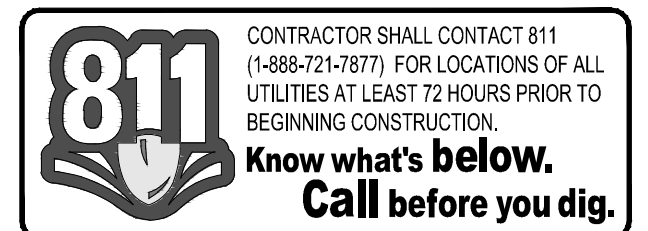


YORK COUNTY
 York, South Carolina
**EBENEZER PARK
 PHASE II IMPROVEMENTS**
 ROCK HILL
 SOUTH CAROLINA



07/14/2023

ADC ENGINEERING
 CHARLESTON \ COLUMBIA \ GREENVILLE
 25 WOODS LAKE ROAD, SUITE 210
 GREENVILLE, SC 29607
 ph: 864-751-9121
 WWW.ADCENGINEERING.COM

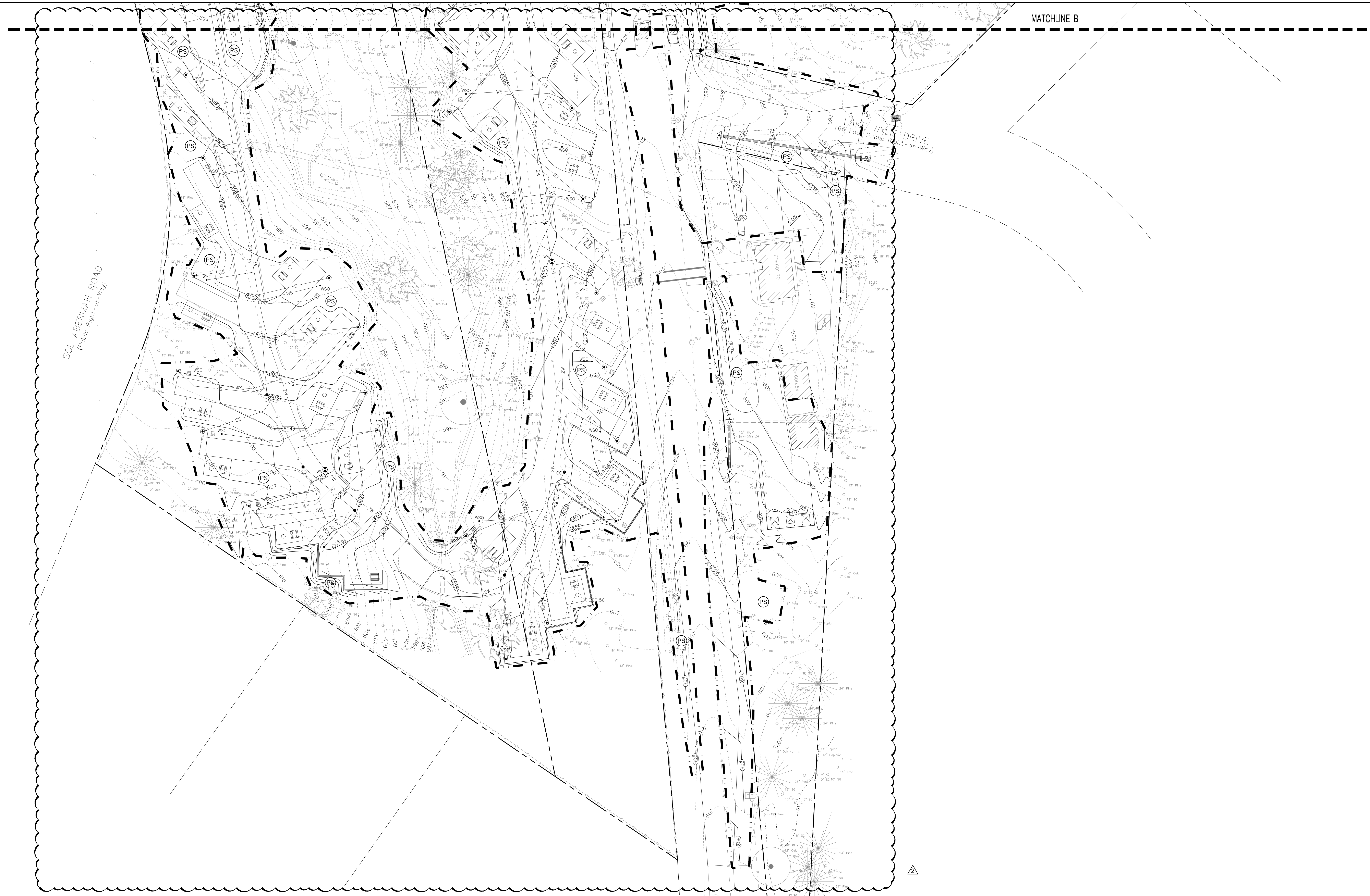


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**EROSION CONTROL
 PLAN - STABILIZATION
 PHASE - AREA 2**

C732

PERMIT SET



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CIVIL LEGEND – EROSION CONTROL

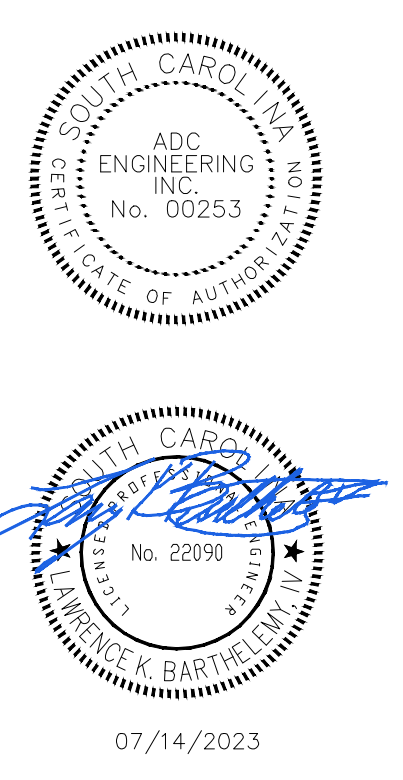
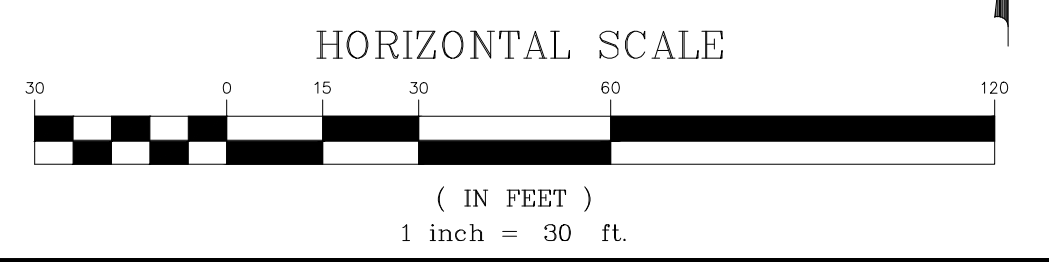
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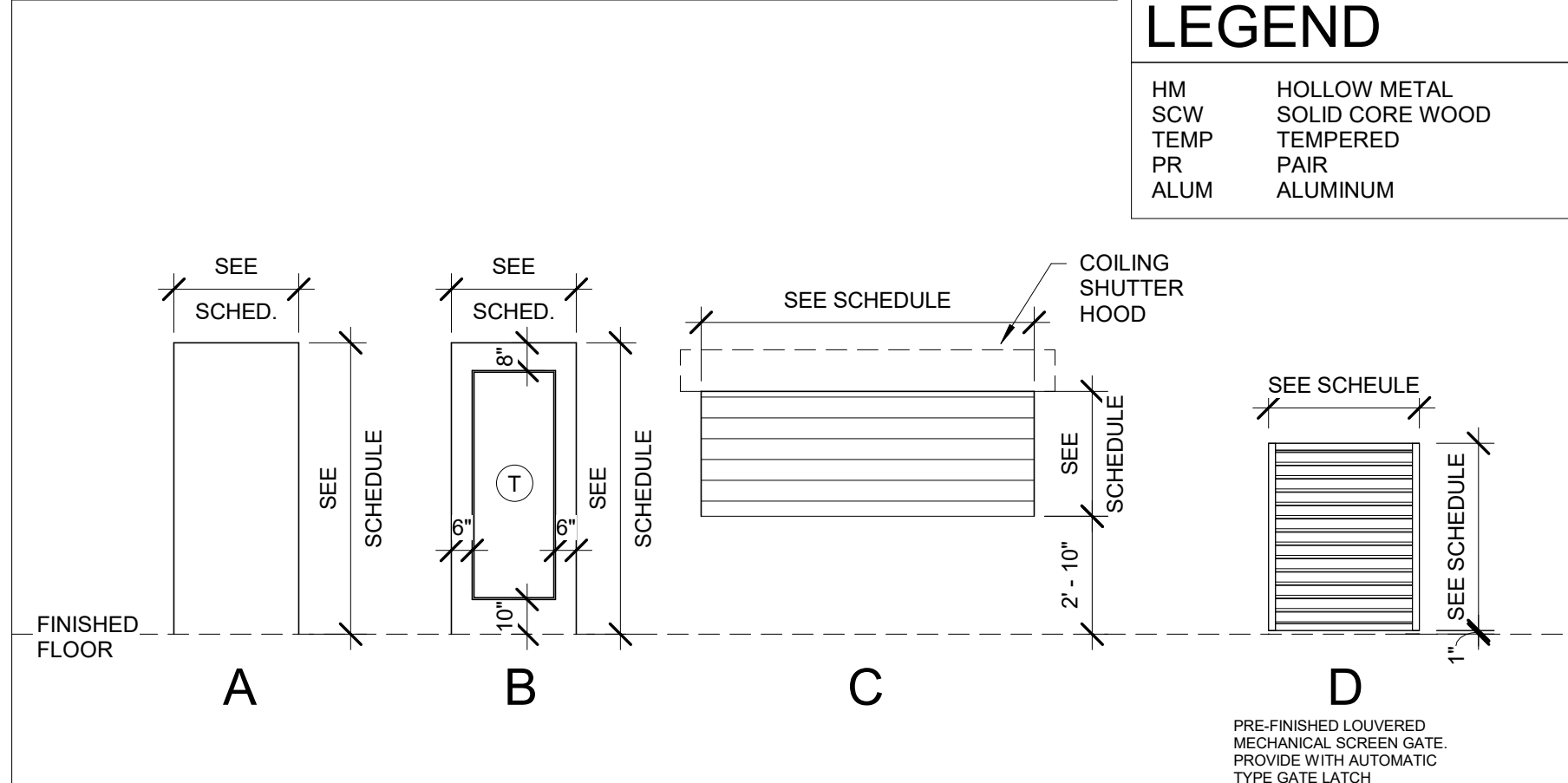
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**EROSION CONTROL
 PLAN - STABILIZATION
 PHASE - AREA 3**

C733

Door Schedule												
ROOM NUMBER	DOOR NUMBER	WIDTH	HEIGHT	DOOR TYPE	MATL	TYPE	FRAME	HEAD	JAMB	HARD WARE	SIGN	REMARKS
LAKE BUILDING												
101	101	6'-0"	7'-4"	A	HM	F1	HM	M1M8H	M8M1J2	01	-	
101	101A	3'-0"	7'-0"	A	HM	F1	HM	M8H	M8J	03	-	
102	102	3'-0"	7'-4"	A	HM	F1	HM	M1M8H	M8M1J2	01	-	
102A	102A	8'-8"	3'-4"	C	-	-	HM	1/A501	3/A110	05	-	ROUGH OPENING DIMENSIONS, SEE SECTION FOR SHUTTER COIL SIZE.
103	103	3'-0"	7'-4"	A	HM	F1	HM	M1M8H	M1M8J1	01	-	
104	104	3'-0"	7'-4"	A	HM	F2	HM	6/A502	M8M1J2	04	C	
105	105	3'-0"	7'-4"	A	HM	F2	HM	6/A502	M8M1J2	02	B	
106	106	3'-0"	7'-4"	A	HM	F2	HM	6/A502	M8M1J2	02	B	
107	107	3'-0"	7'-4"	A	HM	F2	HM	6/A502	M8M1J2	04	E	
108	108	3'-0"	7'-4"	A	HM	F2 OPP	HM	6/A502	M8M1J2	02	A	
109	109	3'-0"	7'-4"	A	HM	F2 OPP	HM	6/A502	M8M1J2	02	B	
110	110	3'-0"	7'-4"	A	HM	F2 OPP	HM	6/A502	M8M1J2	02	B	
111	111	3'-0"	7'-4"	A	HM	F2 OPP	HM	6/A502	M8M1J2	02	B	
G1	4'-0"	4'-6"	D	ALUM	-	-	-	-	-	06	-	LOUVERED MECH GATE. VERIFY WIDTH.
G2	3'-7 1/2"	4'-6"	D	ALUM	-	-	-	-	-	06	-	LOUVERED MECH GATE. VERIFY WIDTH.
G3	3'-7 1/2"	4'-6"	D	ALUM	-	-	-	-	-	06	-	LOUVERED MECH GATE. VERIFY WIDTH.

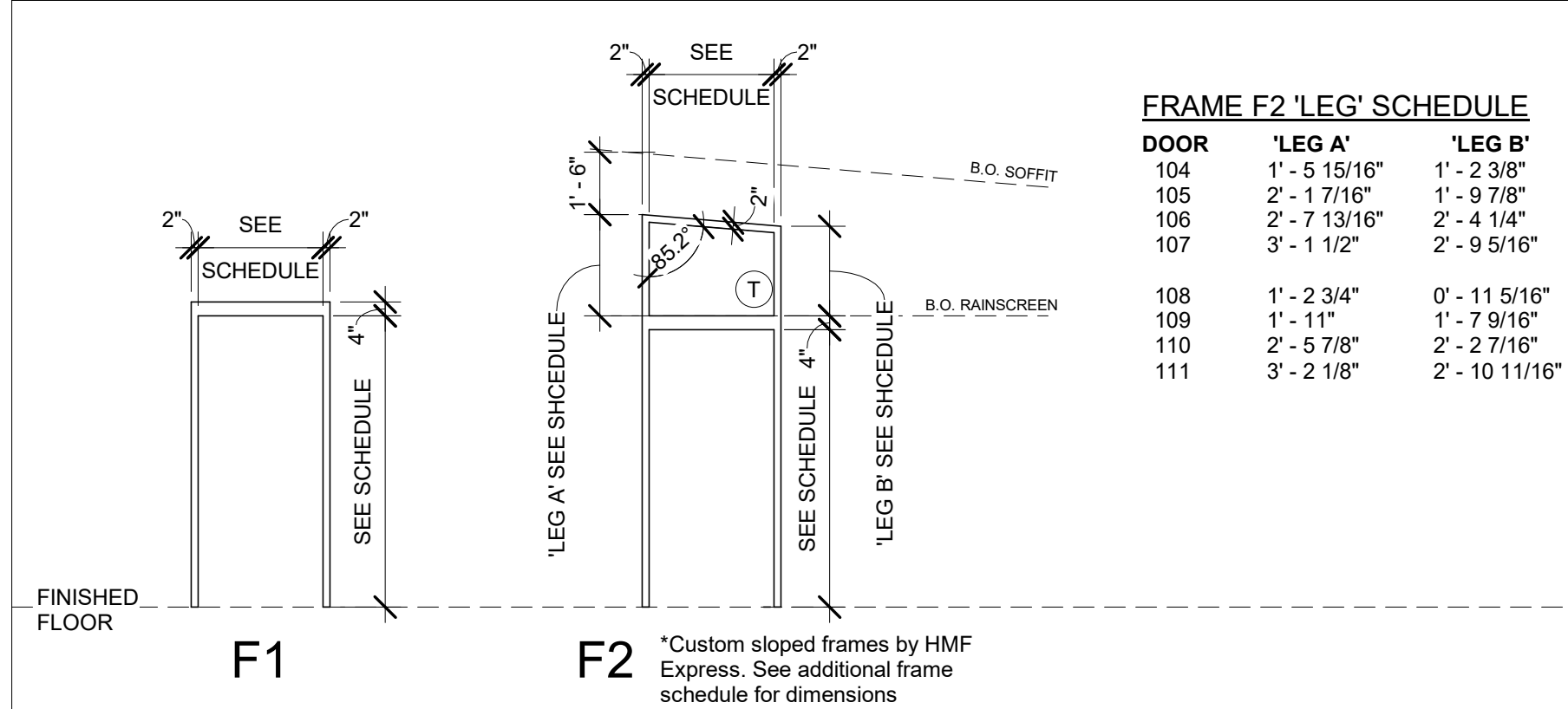
DOOR LEGEND



ABBREVIATION LEGEND

HM	HOLLOW METAL
SCW	SOLID CORE WOOD
TEMP	TEMPERED
PR	PAIR
ALUM	ALUMINUM

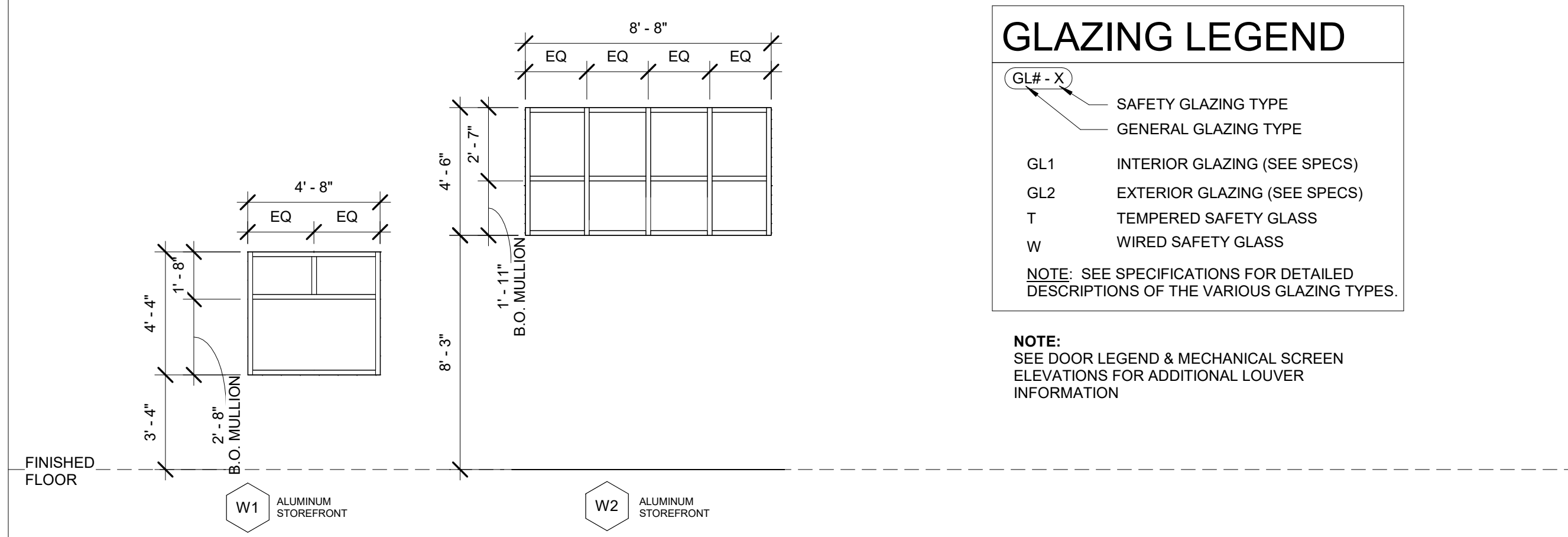
FRAME LEGEND



FRAME F2 'LEG' SCHEDULE

DOOR	'LEG A'	'LEG B'
104	1'-5 15/16"	1'-2 3/8"
105	2'-1 17/16"	1'-9 7/8"
106	2'-7 13/16"	2'-4 1/4"
107	3'-1 1/2"	2'-9 5/16"
108	1'-2 3/4"	0'-11 5/16"
109	1'-1 11"	1'-7 9/16"
110	2'-5 7/8"	2'-2 7/16"
111	3'-2 1/8"	2'-10 11/16"

WINDOW AND LOUVER LEGEND



GLAZING LEGEND

GLP-X	SAFETY GLAZING TYPE
	GENERAL GLAZING TYPE
GL1	INTERIOR GLAZING (SEE SPECS)
GL2	EXTERIOR GLAZING (SEE SPECS)
T	TEMPERED SAFETY GLASS
W	WIRED SAFETY GLASS

NOTE: SEE DOOR LEGEND & MECHANICAL SCREEN ELEVATIONS FOR ADDITIONAL LOUVER INFORMATION

GENERAL FLOOR PLAN NOTES

- Unless noted otherwise in the contract documents, dimensions identify:
 - the centerline of columns and structural steel components,
 - the centerline of interior studs,
 - the face of exterior studs and/or
 - the face of masonry and concrete walls.
- All major dimensions indicate nominal dimensions. The contractor shall make proper allowances for joint materials in laying out the work.
- Provide code approved wood blocking or sheet metal plates in hollow wall systems for attachment of any wall mounted accessories including, but not limited to, shelving, casework, toilet accessories, toilet partitions, light fixtures, benches, coat rods, televisions, audio-visual equipment, security cameras, sliding door tracks, marker boards, and mirrors.
- Wall accessories such as fire extinguisher cabinets and paper towel dispensers that require a semi-recessed installation shall not reduce the fire rating of the wall. If a detail is not provided within the contract documents, the contractor shall consult the architect for proper details prior to installing the device.
- Walls indicated by the finish schedule to be painted where no ceiling is indicated shall be painted to the upper limits of the wall construction. Refer to the finish schedule for painting of exposed structure and mechanical/electrical components.
- All CMU walls, fire rated walls and sound rated partitions shall extend from finish floor to the underside of structural deck above. The top, bottom, sides and all piping and duct penetrations shall be sealed with appropriate fire resistive materials according to the applicable U.L. design assembly noted on the contract documents.
- Unless noted otherwise in the contract documents by a wall type or specific note, all non-rated stud partitions shall extend to the deck above.
- All metal studs shall be attached with 2 screws at 16" o.c. in the bottom and top tracks.
- All exterior corners and ends of gypsum wall board partitions shall have metal corner beads unless noted otherwise.

DOOR & HARDWARE NOTES:

- CONTRACTOR TO PROVIDE HARDWARE SUPPLIER/CONSULTANT.
- PROVIDE KEYING CONFERENCE WITH CONTRACTOR, DOOR SCHEDULE, ARCHITECT AND OWNER.
- PROVIDE SHOP DRAWING SUBMITTALS FOR REVIEW AND APPROVAL.
- ALL HARDWARE TO BE ANSU / BHMA GRADE 1.
- BASIS OF DESIGN ASSA ABLY.

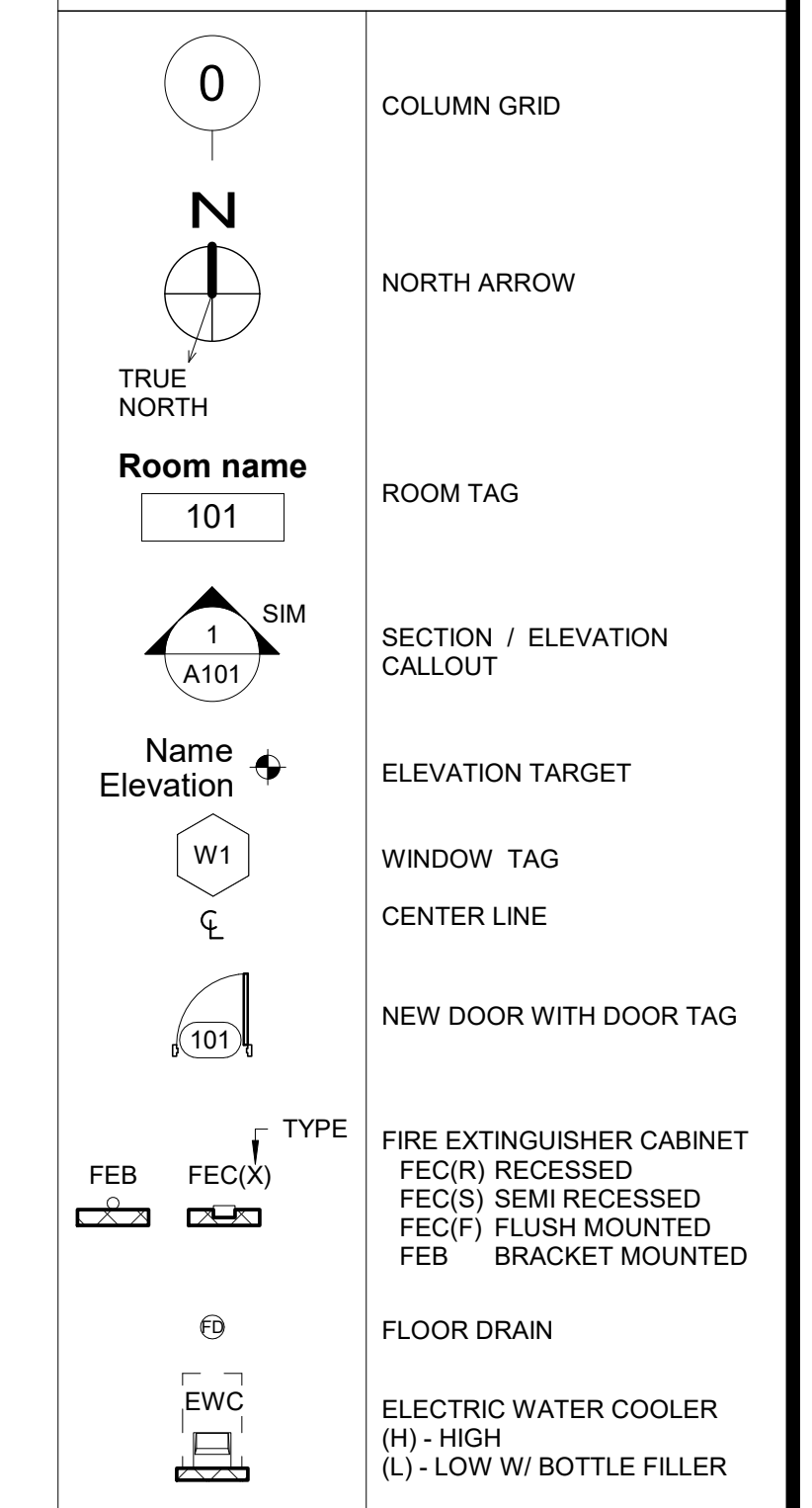
HARDWARE SCHEDULE:

- SET: 01 EXTERIOR STORAGE / SERVICE: HINGES, MORTISE LOCK SET WITH STORAGE FUNCTION, EXTERIOR PULL, CLOSER, WEATHER GASKETS, THRESHOLD FINISH: SATIN STAINLESS STEEL
- 02 EXTERIOR TOILET ROOM: HINGES, MORTISE LOCKSET WITH PRIVACY FUNCTION, EXTERIOR PULL, CLOSER, WEATHER GASKETS, THRESHOLD FINISH: SATIN STAINLESS STEEL
- 03 STORAGE / SERVICE: HINGES, MORTISE LOCKSET WITH STORE ROOM FUNCTION, WALL OR OVERHEAD STOP, DOOR SILENCERS FINISH: SATIN STAINLESS STEEL
- 04 EXTERIOR LIMITED OPERATION ROOM: HINGES, MORTISE LOCKSET WITH CYLINDRICAL LOCK, STOREROOM FUNCTION AND KEYPAD COMBINATION FOR ACCESS, EXTERIOR PULL, CLOSER, WEATHER GASKETS, THRESHOLD FINISH: SATIN STAINLESS STEEL
- 05 COILING SHUTTER: MANUAL FLUSH BOLTS PROVIDED BY DOOR MANUF.
- 06 MECHANICAL GATE: PROVIDE STEEL FRAME, HINGES, AND HARDWARE. PAINT TO MATCH LOUVER COLOR TO BE SELECTED BY ARCHITECT.

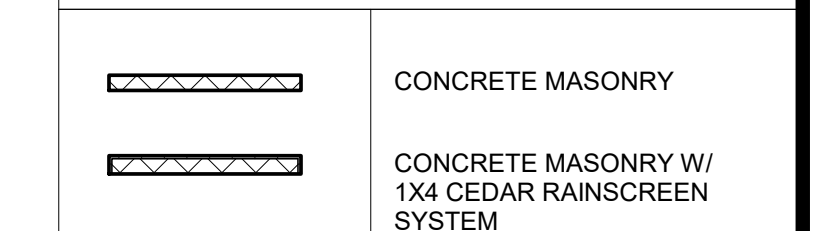
SIGN SCHEDULE:

- TYPE: A ADA TOILET ROOM: 12"x12" SIGN, GRADE II RAISED BRAILLE & PICTOGRAM. ADA, GENDER INCLUSIVE, BABY CHANGING STATION
- B TOILET ROOM: 12"x12" SIGN, GRADE II RAISED BRAILLE & PICTOGRAM. GENDER INCLUSIVE TOILET
- C ADA SHOWER ROOM: 12"x12" SIGN, GRADE II RAISED BRAILLE & PICTOGRAM. ADA, GENDER INCLUSIVE, BABY CHANGING STATION, TOILET & SHOWER
- D SHOWER ROOM: 12"x12" SIGN, GRADE II RAISED BRAILLE & PICTOGRAM. GENDER INCLUSIVE TOILET & SHOWER
- E SHOWER ROOM: 12"x12" SIGN, GRADE II RAISED BRAILLE & PICTOGRAM. GENDER INCLUSIVE, BABY CHANGING STATION, TOILET & SHOWER
- F LAUNDRY ROOM: 12"x12" SIGN WITH GRADE II RAISED BRAILLE

FLOOR PLAN LEGEND



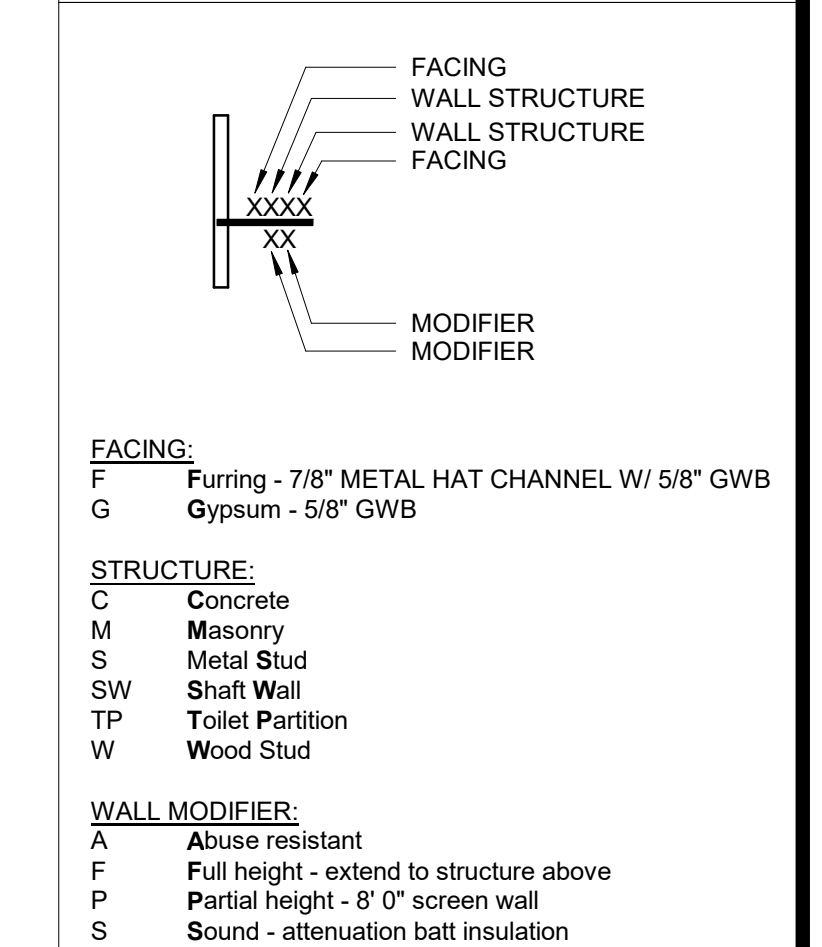
WALL LEGEND



WALL LEGEND NOTES:

- INTERIOR WALLS SHALL BE TYPE MB UNLESS NOTED OTHERWISE.
- PROVIDE J-MOLD WITH CAULK AND BACKER ROD JOINT WHERE GWB ABUTS DISSIMILAR MATERIALS SUCH AS CMU AND GWB.

WALL TYPES LEGEND



KEY NOTE LEGEND

- 01 EXPOSED STEEL COLUMN, PAINTED P-2
- 02 LINE OF ROOF ABOVE
- 03 SOFFIT ABOVE

TOILET ACCESSORY LEGEND

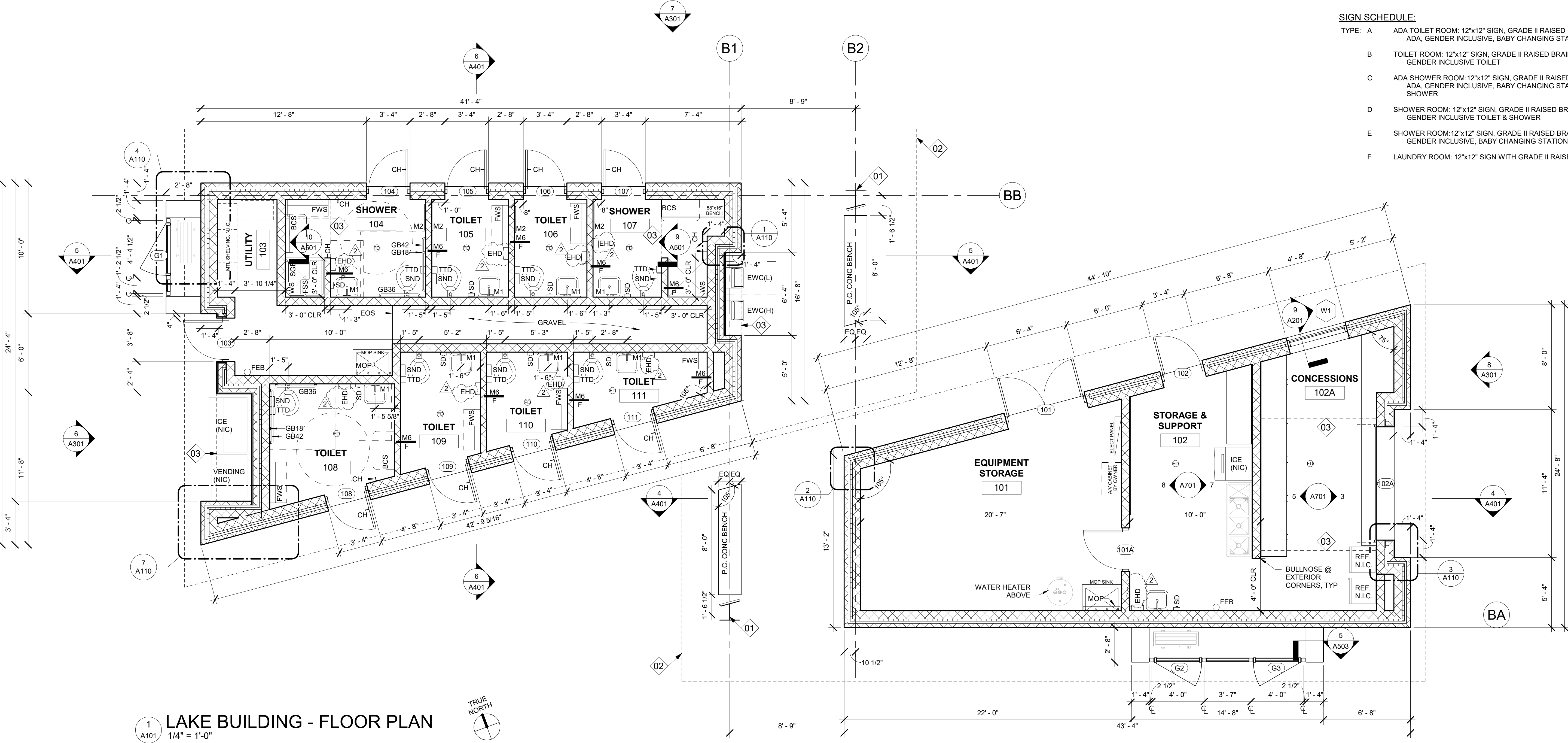
FTD	PAPER TOWEL DISPENSER
TTD	TOILET TISSUE DISPENSER
GB42	42" GRAB BAR
GB36	36" GRAB BAR
GB18	18" GRAB BAR (VERTICAL MOUNT)
SGB	SHOWER GRAB BAR
M1	24" x 36" MIRROR (POLISHED SSTL)
M2	24" x 48" MIRROR
CH	COAT HOOK
MOP	MOP RACK
SND	SANITARY NAPKIN DISPOSAL UNIT
SD	SOAP DISPENSER
EHD	ELECTRIC HAND DRYER
EWIC	ELECTRIC WATER COOLER
FSS	FOLDING SHOWER SEAT
FWS	FOLDING WALL SEAT
QUJ	CURTAIN WITH BAR AND CURTAIN HOOKS
BCS	BABY CHANGING STATION
WS	WALL SHELF

TOILET ACCESSORY NOTES

- GC SHALL FURNISH AND INSTALL BLOCKING AS REQUIRED TO SECURELY FASTEN ALL TOILET ACCESSORIES.

TOILET NOTES

- OUTSIDE CORNER OF INTERIOR CMU WALLS SHALL BE BULLNOSED UNLESS NOTED OTHERWISE. BULLNOSE TO BEGIN ONE COURSE AFF.
- INSULATE EXPOSED PIPES & SURFACES UNDER LAVATORIES TO PROTECT AGAINST CONTACT. SEE PLUMBING.



LAKE BUILDING - FLOOR PLAN

1/4" = 1'-0"

YORK COUNTY
York, South Carolina

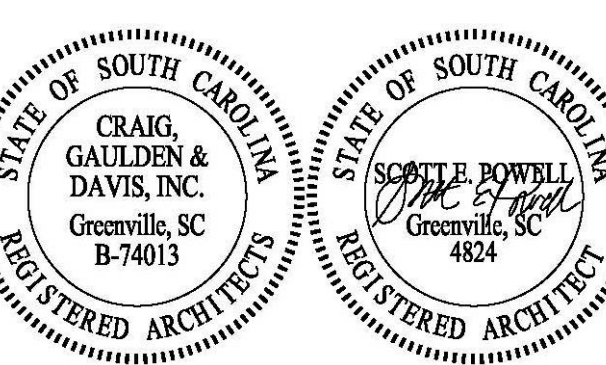
EBENEZER PARK
PHASE II IMPROVEMENTS

ROCK HILL
SOUTH CAROLINA

CRAIG GAULDEN DAVIS

Architecture
Planning
Interiors

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Greenville, SC 29601
Phone 864.242.0761
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E-mail cgd@gcdarch.com



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GREENVILLE, SC 29607
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CONTRACTOR SHALL CONTACT 811 (1-888-727-7877) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.

811
Know what's below.
Call before you dig.

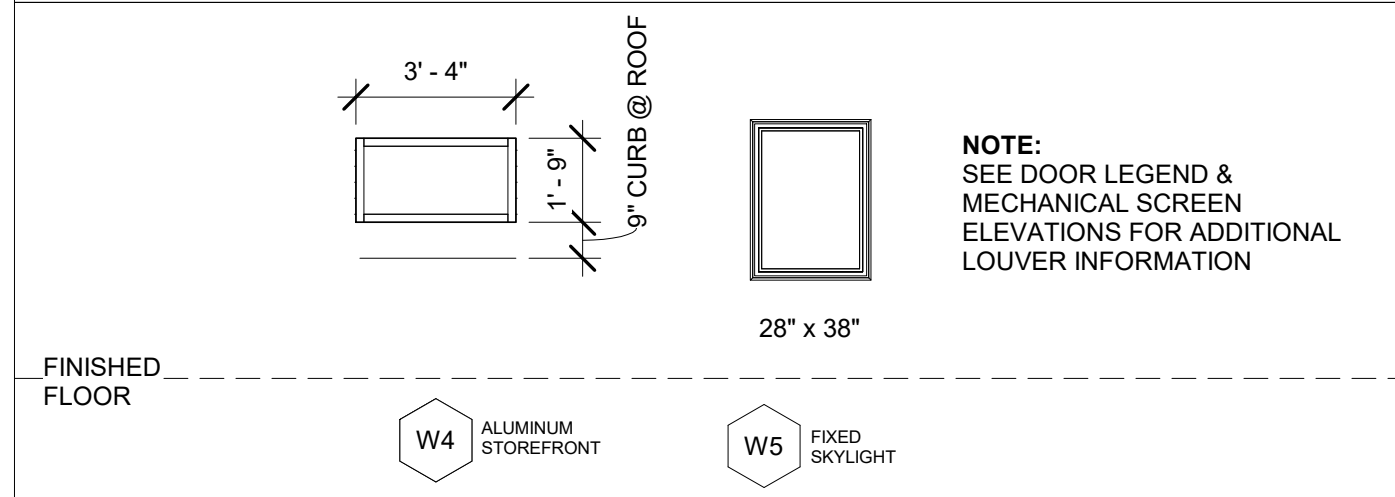
DATE:	03/09/2023	
ADC PROJECT #:	21435	
DESIGNED:	CSM	
CHECKED:	CAG	
DRAWN:	CSM	
REVISION:		
1	REVISED PERMIT SET	06/06/2023
2	REVISED PERMIT DWGS	07/14/2023

FLOOR PLAN - LAKE BUILDING

A101

Door Schedule												
ROOM NUMBER	DOOR NUMBER	WIDTH	HEIGHT	DOOR TYPE	MATL	TYPE	MATL	FRAME HEAD	JAMB	HARD WARE	SIGN	REMARKS
CAMPGROUND BUILDING												
201	201	3'-0"	7'-4"	B	HM	F1	HM	M1M8H	M8M1J2	04	F	
202	202	3'-0"	7'-4"	A	HM	F1	HM	M1M8H	M1M8J1	02	D	
203	203	3'-0"	7'-4"	A	HM	F1	HM	M1M8H	M1M8J1	02	D	
204	204	3'-0"	7'-4"	A	HM	F1	HM	M1M8H	M8M1J2	02	C	
205	205	3'-0"	7'-4"	A	HM	F1	HM	M1M8H	M8M1J2	01	-	
206	206	3'-0"	7'-4"	A	HM	F1	HM	M1M8H	M1M8J1	02	D	
207	207	3'-0"	7'-4"	A	HM	F1	HM	M1M8H	M1M8J1	02	D	
208	208	3'-0"	7'-4"	A	HM	F1	HM	M1M8H	M8M1J2	02	C	
G4		3'-7 1/2"	4'-6"	D	ALUM	-	-	-	-	06	-	LOUVERED MECH GATE. VERIFY WIDTH
G5		3'-7 1/2"	4'-6"	D	ALUM	-	-	-	-	06	-	LOUVERED MECH GATE. VERIFY WIDTH

WINDOW AND LOUVER LEGEND



GLAZING LEGEND

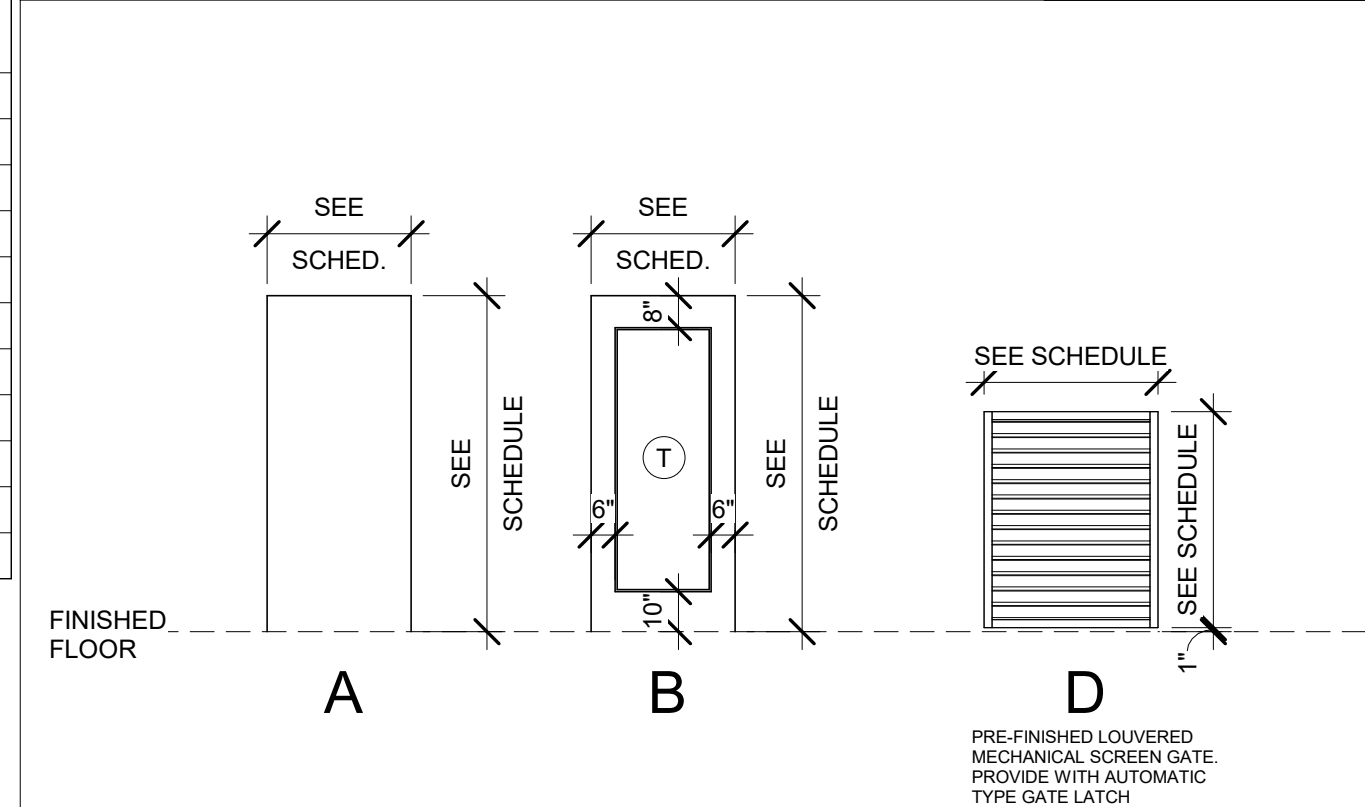
GL#	SAFETY GLAZING TYPE
GL1	GENERAL GLAZING TYPE
GL2	INTERIOR GLAZING (SEE SPECS)
T	EXTERIOR GLAZING (SEE SPECS)
W	TEMPERED SAFETY GLASS
	WIRED SAFETY GLASS

NOTE: SEE SPECIFICATIONS FOR DETAILED DESCRIPTIONS OF THE VARIOUS GLAZING TYPES.

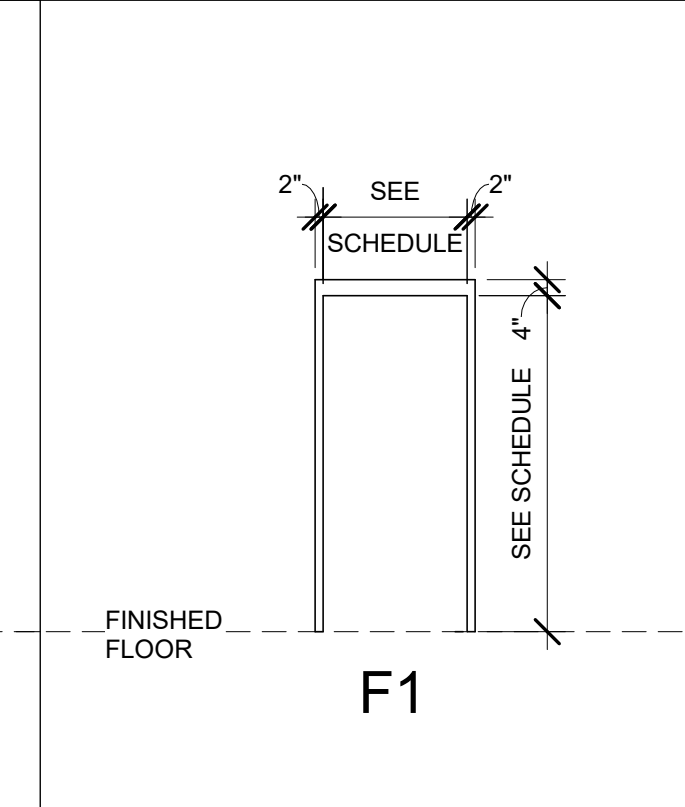
ABBREVIATION LEGEND

HM	HOLLOW METAL
SCW	SOLID CORE WOOD
TEMP	TEMPERED
PR	PAIR
ALUM	ALUMINUM

DOOR LEGEND



FRAME LEGEND



GENERAL FLOOR PLAN NOTES

- Unless noted otherwise in the contract documents, dimensions identify:
 - the centerline of columns and structural steel components,
 - the centerline of interior studs,
 - the face of exterior studs and/or
 - the face of masonry and concrete walls.
- All masonry dimensions indicate nominal dimensions. The contractor shall make proper allowances for joint materials in laying out the work.
- Provide code approved wood blocking or sheet metal plates in hollow wall systems for attachment of any wall mounted accessories including, but not limited to, shelving, casework, toilet accessories, toilet partitions, light fixtures, benches, coat rods, televisions, audio-visual equipment, security cameras, sliding door tracks, marker boards, and mirrors.
- Wall accessories such as fire extinguisher cabinets and paper towel dispensers that require a semi-recessed installation shall not reduce the fire rating of the wall. If a detail is not provided within the contract documents, the contractor shall consult the architect for proper details prior to installing the device.
- Walls indicated by the finish schedule to be painted where no ceiling is indicated shall be painted to the upper limits of the wall construction. Refer to the finish schedule for painting of exposed structure and mechanical/electrical components.
- All CMU walls, fire rated walls and sound rated partitions shall extend from finish floor to the underside of structural deck above. The top, bottom, sides and all piping and duct penetrations shall be sealed with appropriate fire resistive materials according to the applicable U.L. design assembly noted on the contract documents.
- Unless noted otherwise in the contract documents by a wall type or specific note, all non-rated stud partitions shall extend to the deck above.
- All metal studs shall be attached with 2 screws at 16" o.c. in the bottom and top tracks.
- All exterior corners and ends of gypsum wall board partitions shall have metal corner beads unless noted otherwise.

DOOR & HARDWARE NOTES:

- CONTRACTOR TO PROVIDE HARDWARE SUPPLIER/CONSULTANT.
- PROVIDE KEYING CONFERENCE WITH CONTRACTOR, DOOR SUPPLIER, ARCHITECT, AND OWNER.
- PROVIDE SHOP DRAWING SUBMITTALS FOR REVIEW AND APPROVAL.
- ALL HARDWARE TO BE ANSU / BHMA GRADE 1.
- BASIS OF DESIGN ASSA ABL0Y.

HARDWARE SCHEDULE:

- SET: 01 EXTERIOR STORAGE / SERVICE: HINGES, MORTISE LOCK SET WITH STORAGE FUNCTION, EXTERIOR PULL, CLOSER, WEATHER GASKETS, THRESHOLD FINISH: SATIN STAINLESS STEEL
- 02 EXTERIOR TOILET ROOM: HINGES, MORTISE LOCKSET WITH PRIVACY FUNCTION, EXTERIOR PULL, CLOSER, WEATHER GASKETS, THRESHOLD FINISH: SATIN STAINLESS STEEL
- 03 STORAGE / SERVICE: HINGES, MORTISE LOCKSET WITH STORE ROOM FUNCTION, WALL OR OVERHEAD STOP, DOOR SILENCERS FINISH: SATIN STAINLESS STEEL
- 04 EXTERIOR LIMITED OPERATION ROOM: HINGES, MORTISE LOCKSET WITH CYLINDRICAL LOCK, STORE ROOM FUNCTION AND KEYPAD COMBINATION FOR ACCESS. EXTERIOR PULL, CLOSER, WEATHER GASKETS, THRESHOLD FINISH: SATIN STAINLESS STEEL
- 05 COLING SHUTTER: MANUAL FLUSH BOLTS PROVIDED BY DOOR MANUF.
- 06 MECHANICAL GATE: PROVIDE STEEL FRAME, HINGES, AND HARDWARE. PAINT TO MATCH LOUVER COLOR TO BE SELECTED BY ARCHITECT.

SIGN SCHEDULE:

- TYPE: A ADA TOILET ROOM: 12"x12" SIGN, GRADE II RAISED BRAILLE & PICTOGRAM. ADA, GENDER INCLUSIVE, BABY CHANGING STATION
- B TOILET ROOM: 12"x12" SIGN, GRADE II RAISED BRAILLE & PICTOGRAM. GENDER INCLUSIVE TOILET
- C ADA SHOWER ROOM: 12"x12" SIGN, GRADE II RAISED BRAILLE & PICTOGRAM. ADA, GENDER INCLUSIVE, BABY CHANGING STATION, TOILET & SHOWER
- D SHOWER ROOM: 12"x12" SIGN, GRADE II RAISED BRAILLE & PICTOGRAM. GENDER INCLUSIVE TOILET & SHOWER
- E SHOWER ROOM: 12"x12" SIGN, GRADE II RAISED BRAILLE & PICTOGRAM. GENDER INCLUSIVE, BABY CHANGING STATION, TOILET & SHOWER
- F LAUNDRY ROOM: 12"x12" SIGN WITH GRADE II RAISED BRAILLE

FLOOR PLAN LEGEND

0	COLUMN GRID
N	NORTH ARROW
TRUE NORTH	
Room name	ROOM TAG
101	
1	SECTION / ELEVATION CALLOUT
A101	
Name Elevation	ELEVATION TARGET
A101	
W1	WINDOW TAG
CL	CENTER LINE
	NEW DOOR WITH DOOR TAG
FEB	FIRE EXTINGUISHER CABINET
FEC(R)	FEC(R) RECESSED
FEC(S)	FEC(S) SEMI RECESSED
FEC(F)	FEC(F) FLUSH MOUNTED
FEB	BRACKET MOUNTED
	FLOOR DRAIN
EW(C)	ELECTRIC WATER COOLER (H) - HIGH (L) - LOW W/ BOTTLE FILLER

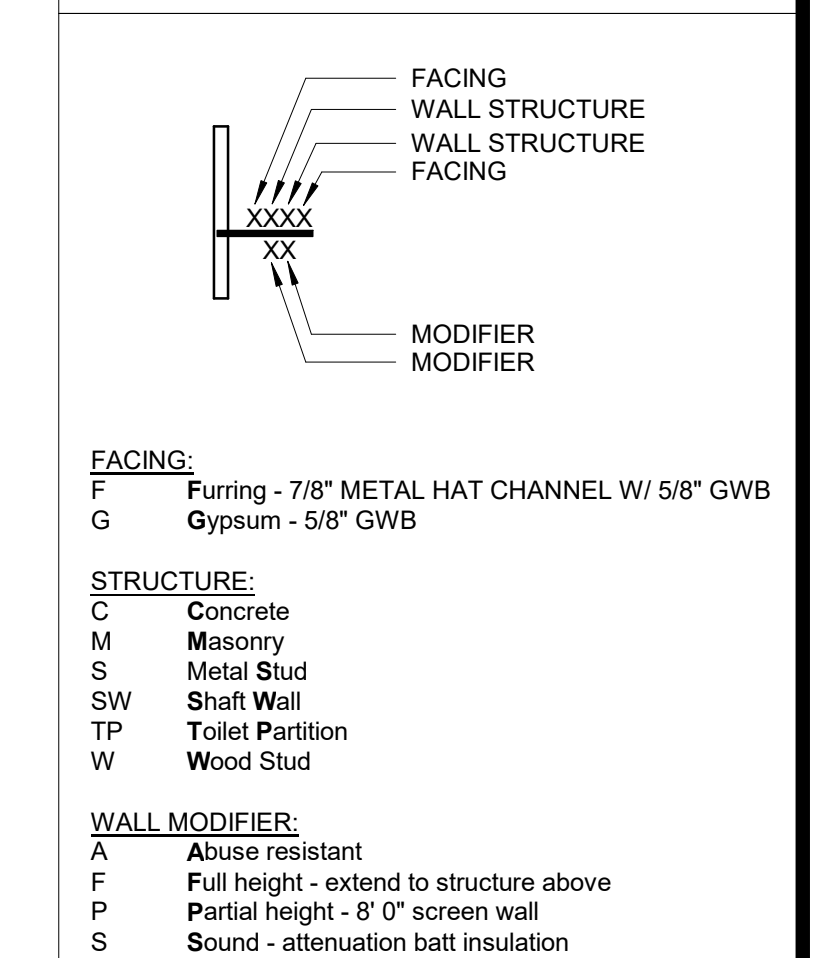
WALL LEGEND

	CONCRETE MASONRY
	CONCRETE MASONRY W/ 1X4 CEDAR RAINGREEN SYSTEM

WALL LEGEND NOTES:

- INTERIOR WALLS SHALL BE TYPE M8 UNLESS NOTED OTHERWISE.
- PROVIDE J-MOLD WITH CAULK AND BACKER ROD JOINT WHERE GWB ABUTS DISSIMILAR MATERIALS SUCH AS CMU AND GWB.

WALL TYPES LEGEND



KEY NOTE LEGEND

01	EXPOSED STEEL COLUMN, PAINTED P-2
02	LINE OF ROOF ABOVE
03	SOFFIT ABOVE

TOILET ACCESSORY LEGEND

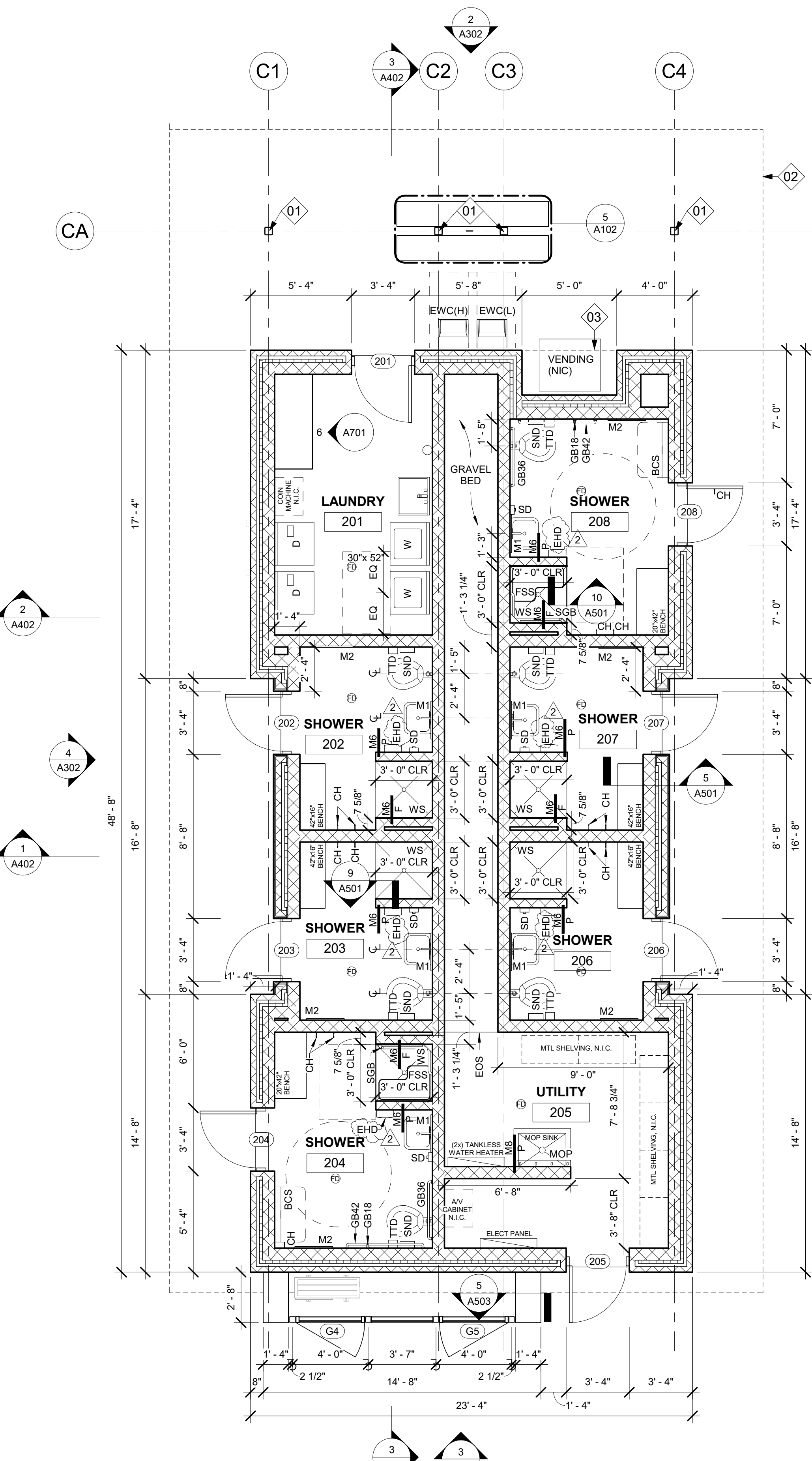
PTD	PAPER TOWEL DISPENSER
TTD	TOILET TISSUE DISPENSER
GB42	42" GRAB BAR
GB36	36" GRAB BAR
GB18	18" GRAB BAR (VERTICAL MOUNT)
SGB	SHOWER GRAB BAR
M1	24" x 36" MIRROR (POLISHED SSTL)
M2	24" x 48" MIRROR
CH	COAT HOOK
MOP	MOP RACK
SND	SANITARY NAPKIN DISPOSAL UNIT
SD	SOAP DISPENSER
EHD	ELECTRIC HAND DRYER
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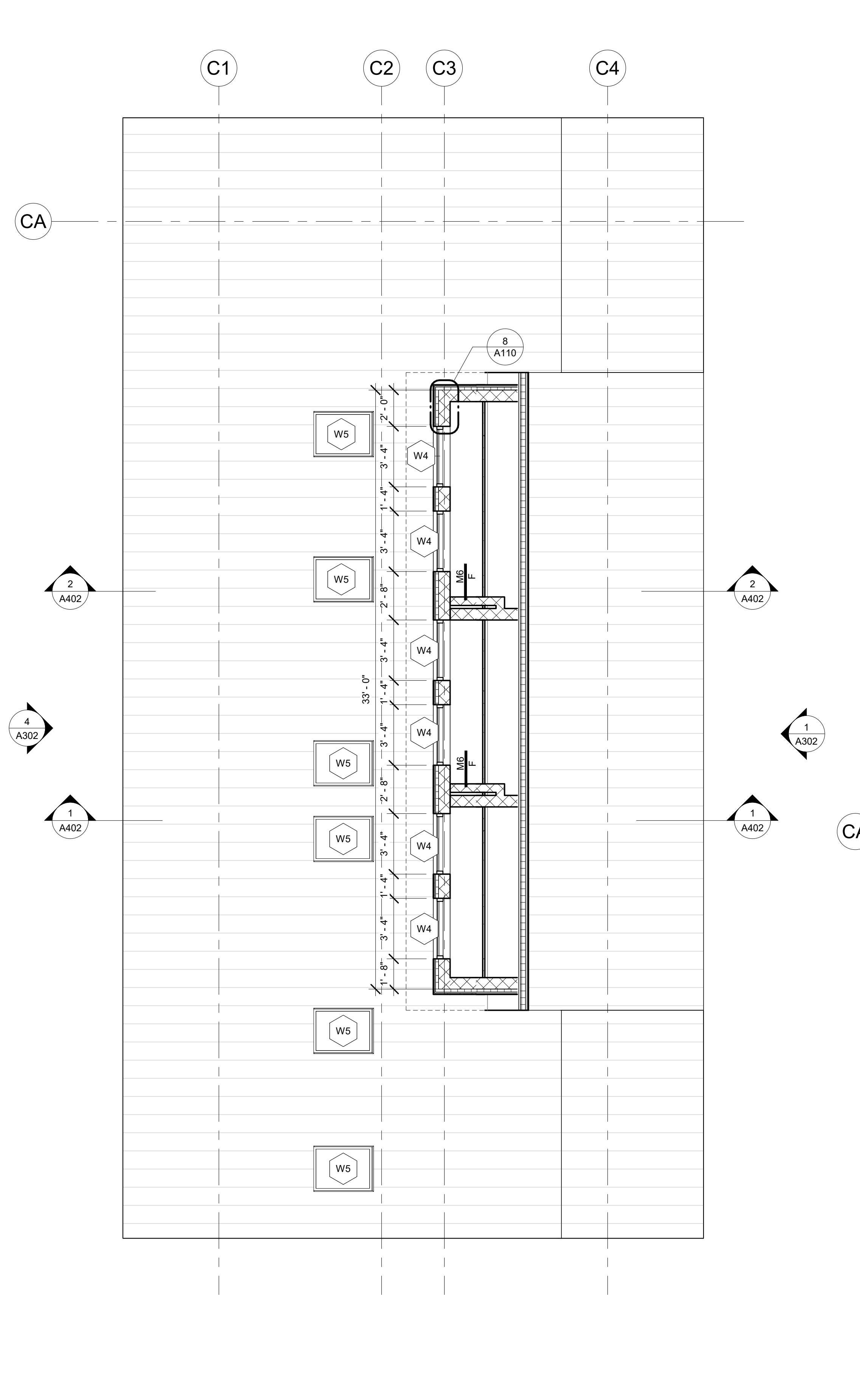
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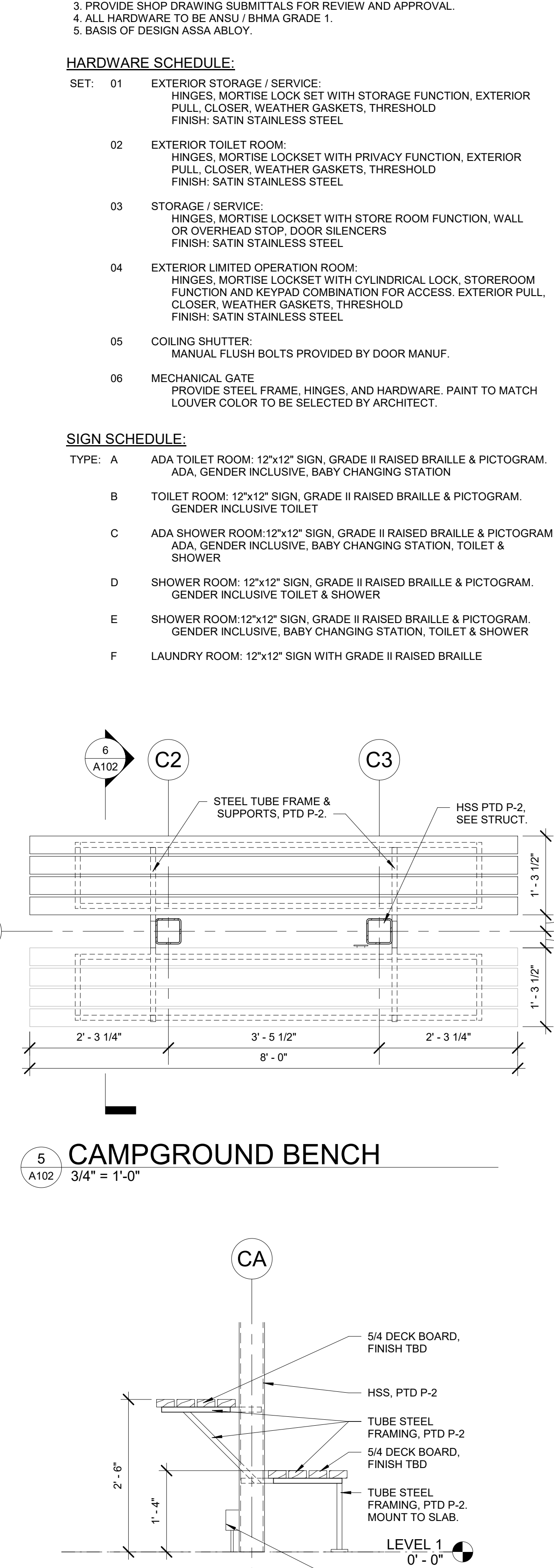
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1 CAMPGROUND BUILDING - FLOOR PLAN
1/4" = 1'-0"



2 CLERESTORY B.O.M.
1/4" = 1'-0"



6 CAMPGROUND BENCH
3/4" = 1'-0"

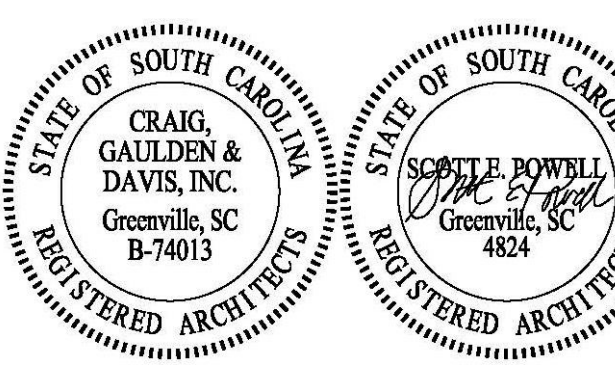
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Architecture
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DATE:	03/09/2023	
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REVISION:		
1	REVISED PERMIT SET	06/06/2023
2	REVISED PERMIT DWGS	07/14/2023

FLOOR PLAN -
CAMPGROUND
BUILDING

A102

SYMBOL DESCRIPTION

CIRCUITS AND CONDUIT

HOME RUN TO LIGHTING/SERVICE PANEL. HASH MARKS, WHEN SHOWN, INDICATE NUMBERS OF CONDUCTORS. "/> INDICATES HOT WIRE. "N" INDICATES NEUTRAL CONDUCTOR. "G" INDICATES GROUND CONDUCTOR. HOME RUN NOTE INDICATES PANEL NAME AND CIRCUIT NAME OR FEEDER TAG. CONDUCTORS SHALL BE #12 AWG IN 3/4" CONDUIT UNLESS NOTED OTHERWISE. ANY HOME RUN OR CONDUIT WITHOUT HASH MARKS IS TO CONTAIN 5 CONDUCTORS: 1 HOT, 1 NEUTRAL, AND 1 EQUIPMENT GROUND. EACH HOT CIRCUIT SHALL BE PAIRED WITH A SEPARATE NEUTRAL CONDUCTOR. SHARING OF NEUTRAL CONDUCTORS BETWEEN CIRCUITS IS NOT ALLOWED.

EXPOSED CONDUIT

CONDUIT RUN IN SLAB OR UNDERGROUND.

CONDUIT RUN CONCEALED ABOVE CEILING OR IN WALLS, UNLESS NOTED OTHERWISE.

FLEXIBLE CONDUIT

EQUIPMENT

LIGHTING OR SERVICE PANEL, SURFACE MOUNTED (208V)

EXHAUST FAN. SEE MECHANICAL DRAWINGS FOR FAN SPECIFICATIONS.

WATER HEATER.

SAFETY DISCONNECT SWITCH. "30" INDICATES AMP RATING. "20" INDICATES FUSE SIZES. "3P" INDICATES NUMBER OF POLES. ENCLOSURE TO BE NEMA 1 UNLESS NOTED OTHERWISE (GR, 4X, ETC.) SQUARE D H300 SERIES HEAVY DUTY SAFETY SWITCH IS NOT ALLOWED.

HAND HOLD

EXISTING ELECTRICAL POWER CONNECTION TO BE RELOCATED

WIRING DEVICES

NOTE: ALL WIRING DEVICES TO BE IVORY, WITH #302 STAINLESS STEEL COVERPLATE (FLUSH MOUNTED) UNLESS NOTED OTHERWISE ON THE DRAWING OR SPECIFICATIONS.

STRAIGHT BLADE DEVICE SYMBOLS

20A, 125V, 2P, 3W, NEMA 5-20R, DUPLEX RECEPTACLE, HUBBELL 5924 OR EQUAL STANDARD POWER. "WP" DENOTES WEATHER RESISTANT TYPE RECEPTACLE WITH CAST IN-JUSE COVER. "OFF" DENOTES GFCI TYPE. "C" DENOTES RECEPTACLE TO BE FLUSH MOUNTED IN CEILING.

SAME AS "P" ABOVE EXCEPT BOTTOM OF OUTLET MOUNTED ABOVE COUNTER HEIGHT

QUADRAPLEX - TWO DUPLEX OUTLETS MOUNTED IN A TWO GANG BOX WITH TWO GANG COVER PLATE

SPECIAL RECEPTACLE. SEE PLANS FOR TYPE.

RECESSED 2-GANG DIVIDED TV BOX TO CONTAIN RECEPTACLE AND TV/AV CONNECTIONS. TV/AV CONNECTIONS, CABLES AND COVER PLATE BY OWNER'S SYSTEM INSTALLER. CONNECT RECEPTACLE TO CIRCUIT SHOWN ADJACENT. ROUTE 1/2" FOR POWER AND 1/4" FOR DATA (SEE DETAIL 5 E002)

ELECTRIC HAND DRYER CONNECTION. PROVIDE ELECTRICAL AS REQUIRED.

SWITCH SYMBOLS

S SINGLE POLE LIGHTING SWITCH 120-277 VOLT, 20 AMP, SPEC GRADE. LETTER ("A") DESIGNATES WHICH FIXTURES ARE CONTROLLED FROM WHICH SWITCHES WHEN MULTIPLE SWITCHES ARE USED ON ONE CIRCUIT.

S_{MZP} MANUAL MOTOR STARTER, TWO POLE, 240V

S_{OS} PASSIVE INFRARED WALL SWITCH/OCCUPANCY SENSOR - WATTSTOPPER # PW-301

90° PASSIVE INFRARED LOW VOLTAGE CEILING/WALL OCCUPANCY SENSOR WITH POWER PACK - WATTSTOPPER # CX-100 (SEE DETAIL 4 E002).

LIGHTING FIXTURES

2 X 4' CEILING MOUNTED FIXTURE

4' STRIP FIXTURE

SURFACE CEILING MOUNTED OR RECESSED DOWNLIGHT

WALL SCONCE

COMBINATION EMERGENCY LIGHT AND EXIT FIXTURE WITH INTEGRAL BATTERIES - ARROW INDICATES ILLUMINATED DIRECTIONAL ARROWS. SHADED SECTION INDICATES FACE WHICH IS ILLUMINATED. STEM INDICATES WALL MOUNTED. ALL EXIT LIGHTS SHALL BE MOUNTED TO THE STRUCTURE.

EMERGENCY LIGHTING UNIT. ALL EMERGENCY LIGHTS SHALL BE MOUNTED TO THE STRUCTURE.

EMERGENCY REMOTE HEADS

TRACK LIGHTING

SECURITY

CAMERA LOCATION. PROVIDE BACK BOX AND 1" CONDUIT TO DATA RACK.

COMMUNICATIONS

WiFi LOCATION. PROVIDE BACKBOX AND 1" TO ACCESSIBLE CEILING SPACE

4" SQUARE JUNCTION BOX 1 1/4" TO ACCESSIBLE CEILING SPACE

ELECTRICAL GENERAL NOTES:

- INSPECT SITE PRIOR TO SUBMITTING BID. DRAWINGS ARE INTENDED TO COVER THE REQUIRED ELECTRICAL SYSTEMS. DRAWINGS MAY NOT SHOW COMPLETE OR ACCURATE DETAILS OF THE BUILDING OR SYSTEM IN EVERY RESPECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY ADDITIONAL INFORMATION AS REQUIRED.
- CONFORM TO THE NATIONAL ELECTRICAL CODE (2020), IBC (2021), IECC (2009), APPLICABLE NEMA, ANSI AND IEEE PUBLICATIONS, U.L. AND ADA STANDARDS AND OSHA REQUIREMENTS. COMPLY WITH LOCAL, COUNTY, STATE AND NATIONAL CODES HAVING JURISDICTION.
- FURNISH AND INSTALL ALL MATERIALS IN A NEAT AND WORKMANLIKE FASHION. ALL MATERIALS SHALL BE NEW, WITH FIRST QUALITY AND UL LABEL.
- VERIFY ALL DIMENSIONS AND CLEARANCES PRIOR TO INSTALLATION OF EQUIPMENT AND RACEWAYS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF WORK WITH THAT OF ALL OTHER TRADES AS REQUIRED.
- CONDUIT SHALL BE EMT FOR BRANCH CIRCUIT WIRING AS ALLOWED BY NEC, EXCEPT THAT SET SCREW OR CRIMP FITTINGS ARE NOT ALLOWED. WHERE EXPOSED TO PHYSICAL DAMAGE CONDUITS SHALL BE RIGID GALVANIZED STEEL. MINIMUM CONDUIT SIZE SHALL BE 3/4". ALL CONDUCTORS SHALL BE TYPE THINWALL, STRANDED 800V COPPER BUILDING WIRE. MINIMUM SIZE SHALL BE #12 AWG COPPER UNLESS NOTED. UNDERGROUND CONDUITS SHALL BE PVC SCHEDULE 40 WITH TRANSITION TO RIGID GALVANIZED STEEL FOR EXPOSED CONDUITS.
- PROVIDE GROUNDING FOR ALL EQUIPMENT IN ACCORDANCE WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE. GROUND SERVICE TO BUILDING STEEL, DRIVEN GROUND ROD AND COLD WATER PIPE.
- ALL ENCLOSURES SHALL BE OF THE NEMA TYPE WHICH IS SUITABLE FOR THE APPLICATION.
- SEAL ALL CONDUIT PENETRATIONS TO MATCH RATING OF WALL BEING PENETRATED.
- ALL WORK SHALL HAVE PROPER LABELING AND NAMEPLATES. ALL CIRCUITS SHALL BE LABELED AT PANELS AND BOXES AS INDICATED. ALL PANELS AND DISCONNECTS ARE TO BE PERMANENTLY MARKED WITH NAME OR EQUIPMENT SERVED. ALL PANELS ARE TO BE PROVIDED WITH TYPED WRITTEN PANEL SCHEDULES.
- ALL BREAKERS ON CIRCUITS SUPPLYING HVAC EQUIPMENT SHALL BE TYPE HACR BREAKERS.
- COORDINATE WITH ELECTRICAL UTILITY AS REQUIRED FOR SERVICE ENTRY, INSTALL PAD, METER AND CONDUITS PER UTILITY REQUIREMENTS AND PAY ALL REQUIRED FEES OR CHARGES FOR SERVICES SHOWN.
- THOROUGHLY CLEAN ALL EQUIPMENT AND SYSTEMS BEFORE PLACING IN OPERATION. RESTORE FINISHED SURFACES IF DAMAGED AND DELIVER THE ENTIRE INSTALLATION IN AN APPROVED CONDITION. INSTRUCT THE OWNERS' PERSONNEL IN THE PROPER OPERATION AND MAINTENANCE OF THE SYSTEMS. FURNISH TO THE OWNER THREE SETS OF OPERATION AND MAINTENANCE MANUALS FOR EACH SYSTEM.
- GUARANTEE THE WORK INSTALLED FOR A PERIOD OF ONE YEAR AFTER DATE OF FINAL ACCEPTANCE. DEFECTS WHICH APPEAR AS A RESULT OF NORMAL USAGE SHALL BE REMEDIED BY THE CONTRACTOR TO THE COMPLETE SATISFACTION OF THE OWNER WITHOUT COST TO THE OWNER.
- CONTRACTOR SHALL KEEP CURRENT A SET OF PLANS FOR THE DURATION OF CONSTRUCTION WITH ALL CHANGES TO WORK NEATLY AND ACCURATELY MARKED IN RED AND SHALL TURN OVER TO OWNER AT COMPLETION OF PROJECT.
- ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED TO MEET SEISMIC REQUIREMENTS OF 2021.
- ALL PANELBOARDS SHALL BE FURNISHED WITH COPPER BUS BARS AND A COPPER GROUNDING BUS BAR.

ABBREVIATIONS:

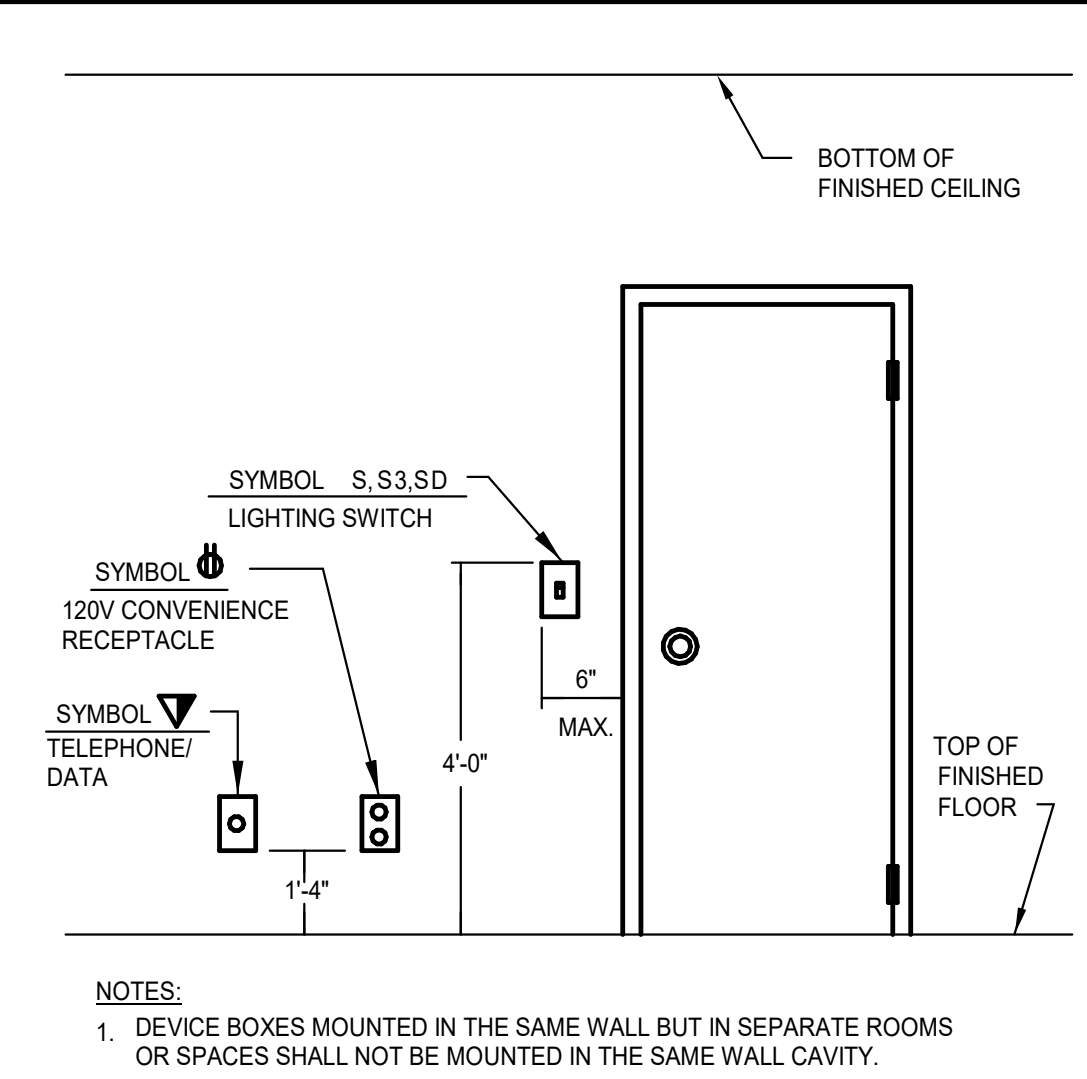
ACH	ABOVE COUNTER HEIGHT	SW	SWITCH
AFF	ABOVE FINISHED FLOOR	TYP	TYPICAL
AFG	ABOVE FINISHED GRADE	UH	UNLESS NOTED OTHERWISE
BKR	BREAKER	UH	UNIT HEATER
CU	COPPER	W	WITH
CKT	CIRCUIT	WH	WATER HEATER
D	DEDICATED OUTLET	WP	WEATHER PROOF
EMT	ELECTRICAL METALLIC TUBING		
ENC	ELECTRIC WATER COOLER		
FU	FUSE		
FWE	FURNISHED WITH EQUIPMENT		
GFI	GROUND FAULT INTERRUPTER DEVICE		
LTG	LIGHTING (L)		
MLO	MAIN LUGS ONLY		
MCB	MAIN CIRCUIT BREAKER		
MFR	MANUFACTURER		
NTS	NOT TO SCALE		
PVC	POLYVINYL CHLORIDE CONDUIT		
RECP	RECEPTACLE (R)		
REQD	REQUIRED		
RGS	RIGID GALVANIZED STEEL		

GENERAL LIGHTING NOTES:

- MANUFACTURERS & NUMBERS ARE LISTED TO ESTABLISH QUALITY ONLY AND NOT TO LIMIT COMPETITION. PRIOR TO BIDDING, SUBSTITUTIONS ARE ALLOWED SUBJECT TO SUBMITTAL DATA, PHOTOMETRICS & ENGINEERS APPROVAL AS REQUIRED BY SPECIFICATIONS. "SUBJECT TO APPROVAL" BIDS ARE PROHIBITED.
- ALL FIXTURES TO BE U.L., E.T.L. OR C.S.A. LABELED. ALL EXTERIOR FIXTURES SHALL HAVE WET LABEL OR DAMP LABEL AS REQUIRED BY LOCATION. CONTRACTOR SHALL VERIFY BEFORE SUBMITTING FIXTURE.
- ALL FIXTURES TO BE PAINTED AFTER FABRICATION.
- PROVIDE ALL MOUNTING ACCESSORIES, BAR HANGARS & HARDWARE REQUIRED. COORDINATE MOUNTING REQUIREMENTS WITH ARCHITECT'S REFLECTED CEILING PLAN.

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	MOUNTING HEIGHT	LAMP	WATTAGE	VOLTAGE
EM	WALL MOUNTED SPECIFICATION GRADE TWIN-HEAD LED EMERGENCY LIGHT, WHITE FINISH WITH EMERGENCY BATTERY BACKUP.	LITHONIA # ELM2-LED EMERGLITE # EL-2LED LIGHTALARMS # LCA-2LED	8'-0" AFF	BY MFR.	4 VA	UNIVERSAL
EX	UNIVERSAL MOUNTED EXIT SIGN WITH RED LETTERS ON WHITE HOUSING, DIFFUSER LENS, SPECIFICATION GRADE DIE CAST ALUMINUM HOUSING, EMERGENCY BATTERY BACKUP.	LITHONIA # LE-S-W-X-R-ELN EMERGLITE # WW-PDN-X-R LIGHTALARMS # X-XDN-WRV	8'-0" AFF	RED LED BY MFR.	5 VA	UNIVERSAL
EXM	UNIVERSAL MOUNTED EXIT SIGN COMBO WITH RED LETTERS ON WHITE HOUSING, DIFFUSER LENS, WITH TWIN LED EMERGENCY HEADS.	LITHONIA # LHOM-LED-R EMERGLITE # ELXN600-R-2LED LIGHTALARMS # UQLXN600-R-2LED	8'-0" AFF	RED LED LED HEADS BY MFR.	5 VA	UNIVERSAL
IA	4' LED CHANNEL STRIP LIGHT, STEEL HOUSING, FROSTED ACRYLIC LENS, WHITE FINISH, PAF, 0-10V DIMMING DRIVER, CABLE SUSPENDED.	LITHONIA # ZL1D-L48-3000LM-FST-MVOLT-35K-80CRI-WH WILLIAMS # 73R-4-L50835-(L40)-DM-UNV COLUMBIA # MPS-4-35-10V-WV-DJ1	CEILING	NOMINAL 4000 LM LED 3500K	34 VA	UNIVERSAL
RF	4" DIA. RECESSED LED CAN LIGHT, SELF-FLANGED WITH CLEAR SEMI-SPECULAR FINISH AND 0-10V DIMMING DRIVER, SPEC GRADE.	GOTHAM # EVO-3520-4AR-MWD-LSS-MVOLT-EZ10 WILLIAMS # 4DR-L30-8-35-DM-UNV/AM-OF-CS-TD1N-F1 PRESCO-LITE # LTR-4RD-H-ML-20L-DM11-LTR-4RD-1-ML-35K- 8-MD-SS	CEILING	NOMINAL 2000 LM LED 3500K	27 VA	UNIVERSAL
SA	RECESSED 2X4 FLAT PANEL LED TROFFER WITH UV-STABILIZED PROTECTED LENS, STEEL FRAME, WHITE FINISH, 0-10V DIMMING DRIVER WITH SURFACE MOUNTED KIT	ORACLE # 24-FPL-LED-ML-4000L-DM10-MVOLT-35K-85 LITHONIA # CPAL-2X4-40LM-35K-M2 COLUMBIA # CFP24-41-35	CEILING	NOMINAL 4000 LM LED 3500K	40 VA	UNIVERSAL
TRA	SURFACE MOUNTED LV TRACK WITH FULLY ADJUSTABLE 12V MR16 LAMP HOLDERS, FINISH AND REMOTE MOUNTED TRANSFORMER WITH CAPACITY NOT EXCEEDING 60 WATTS.	JUNO # TRAC 12 JUNO # TL106 LAMP HOLDER SORAA # MR16-50-12-880-36 LAMPS	SURFACE	12V, MR16 LED 11.5W/50K	150 VA	UNIVERSAL
WD	UPDOWN LED CYLINDER, BLACK, 8" OVERALL HEIGHT, WET LOCATION, BATTERY BACKUP.	CONTECH # CYL3T-24KJ-UD-X-M-B-RDB	8'-0" AFG	1300 LUMENS 4000K	30 VA	UNIVERSAL
WRE	TRAPEZOID EXTERIOR LED SCONCE WITH GASKETED DOORFRAME, TEMPERED GLASS LENS, GLARE SHIELD, FULL CUTOFF, INTEGRAL COLD WEATHER EMERGENCY BATTERY, DARK BRONZE FINISH, WIDE THROW OPTICS.	LITHONIA # WST-LED-P2-40K-VW-MVOLT-E7WC-DOBXD WILLIAMS # WMP-L30740-T3-D82-S05L-EM4W-DM-UNV HUBBELL # TRP2-24L-30-MK-3-UNV-09-CE-5H	8'-0" AFF	NOMINAL 3000 LM LED 4000K	36 VA	UNIVERSAL



1 TYPICAL DEVICE MOUNTING HEIGHT
NTS

PANEL	F (RV PEDESTALS)	CABINET SURFACE	TYPE	SQUARE D NO.	NEMA 3R
VOLTAGE	120/240V	PHASE 1 WIRES 3 FEEDER	MAINS	400 A MCB, SERVICE EQUIP.	
DEVICE	BRANCH CIRCUIT	PHASE LOAD (VOLT-AMPS)		BRANCH CIRCUIT	DEVICE
AMPS TRIP	P O L E S	ØA	ØB	P O L E S	AMPS TRIP
50 A	2	RV PED # 8	1 4800 4800	2	RV PED # 54
50 A	2	RV PED # 10	5 4800 4800	6	RV PED # 56
50 A	2	RV PED # 13	9 4800 4800	8	RV PED # 68
50 A	2	RV PED # 15	11 4800 0	12	SPARE
50 A	2	RV PED # 26	13 4800 0	14	SPARE
50 A	2	RV PED # 28	15 4800 4800	16	RV PED # 50
50 A	2	RV PED # 37	17 4800 1500	18	R-PRIMATE SITE #1
50 A	2	RV PED # 38	19 4800 1500	20	R-PRIMATE SITE #2
50 A	2	RV PED # 47	21 4800 --	22	R-PRIMATE SITE #3
50 A	2	RV PED # 53	23 4800 --	24	R-PRIMATE SITE #4
25 A	1	SPARE	25 4800 --	26	R-PRIMATE SITE #5
INTEGRATED EQUIPMENT RATING	25K AIC	71.7 kVA	70.2 kVA	PANELBOARD LOAD TOTAL	141.9 kVA

PANEL	RC (LAKE BLDG)	CABINET Surface	TYPE	SQUARE D NO.	
VOLTAGE	120/240V	PHASE 1 WIRES 3 FEEDER BOTTOM	MAINS	400 A MCB, SERVICE EQUIP.	
DEVICE	BRANCH CIRCUIT	PHASE LOAD (VOLT-AMPS)		BRANCH CIRCUIT	DEVICE
AMPS TRIP	P O L E S	ØA	ØB	P O L E S	AMPS TRIP
20 A	1	L-EXTERIOR, UTILITY	1 552 180	2	R-VENDING MACHINE
20 A	1	L-TOILETS 103-107	3 270 720	4	R-ICE MACHINE
20 A	1	L-CONCESSIONS	7 412 180	6	R-EXT. WATER FOUNTAINS
20 A	1	L-EXTERIOR	11 800 180	8	R-CONCESSIONS 102A
20 A	1	R-CONCESSION...	13 800 180	10	R-ICE MAKER
20 A	1	R-CONCESSION...	15 800 180	12	R-FREEZER/FRIDGE
20 A	1	R-CONCESSION...	17 312 180	14	R-FREEZER/FRIDGE
15 A	2	IU-2-1 THRU IJ-2-3	19 936 540	16	R-101, 102, 102A, EXT
15 A	2	IU-1-1 THRU IJ-1-9	21 936 540	18	R-CONCESSIONS 102A
45 A	2	OU-1-1	23 4320 180	20	R-EXTERIOR
45 A	2	OU-2-1	25 4320 800	22	R-CONCESSIONS 102A
20 A	1	R-FUTURE	27 800 800	24	R-CONCESSION EQUIPMENT
20 A	1	R-FUTURE FREEZER	29 800 800	26	R-CONCESSION EQUIPMENT
20 A	1	R-DATA RACK	31 380 3250	28	WH-1
30 A	2	SPD, 100KA	33 0 21000	30	WH-2
20 A	1	EHD SHOWER 104	35 1000 360	32	R-FIBER POLE
20 A	1	EHD TOILET 105	37 1000 360	34	R-FIBER POLE
20 A	1	EHD TOILET 106	39 1000 0	36	SPARE
20 A	1	EHD SHOWER 107	41 1000 0	38	SPARE
20 A	1	EHD TOILET 108	43 1000 1000	40	EHD TOILET 109
20 A	1	EHD TOILET 110	45 1000 1000	42	EHD TOILET 111
INTEGRATED EQUIPMENT RATING	25K AIC	45.4 kVA	46.5 kVA	PANELBOARD LOAD TOTAL	91.9 kVA

PANEL	RD (CAMPGROUND BLDG)	CABINET SURFACE	TYPE	SQUARE D NO.	
VOLTAGE	120/240V	PHASE 1 WIRES 3 FEEDER BOTTOM	MAINS	600 A MCB, SERVICE EQUIP.	
DEVICE	BRANCH CIRCUIT	PHASE LOAD (VOLT-AMPS)		BRANCH CIRCUIT	DEVICE
AMPS TRIP	P O L E S	ØA	ØB	P O L E S	AMPS TRIP
20 A	1	L-UTILITY 205	1 145 2500	2	R-LAUNDRY 201 DRYER
20 A	1	L-SHOWER 201-204	3 490 2500	4	R-LAUNDRY 201 DRYER
20 A	1	L-SHOWER 206-208	5 324 2500	6	R-LAUNDRY 201 DRYER
20 A	1	L-EXTERIOR	7 510 2500	8	R-LAUNDRY 201 WASHER
20 A	1	SPARE	9 0 1500	10	R-LAUNDRY 201 WASHER
20 A	1	SPARE	11 0 1280	12	R-LAUNDRY 201 WASHER
20 A	1	SPARE	13 0 1500	14	R-WATER FOUNTAINS, EXT
20 A	1	SPARE	15 0 1500	16	R-VENDING MACHINE
40 A	2	OU-3-1	17 4320 540	18	R-SHOWER 202, 204
15 A	2	IJ-3-1, IJ-3-8	19 832 540	20	R-SHOWER 206, 208
20 A	1	SPARE	21 0 540	22	R-201, 206, EXT
20 A	1	EHD SHOWER 203	23 1000 1000	24	L-GATEHOUSE
20 A	1	EHD SHOWER 204	25 1000 360	26	R-GATEHOUSE
20 A	1	EHD SHOWER 205	27 1000 360	28	R-DATA RACK
20 A	1	EHD SHOWER 207	29 1000 1000	30	GATE CONTROLLER
20 A	1	EHD SHOWER 208	31 1000 360	32	R-FIBER POLE
20 A	1	EHD SHOWER 209	33 1000 360	34	R-FIBER POLE
20 A	1	EHD SHOWER 206	35 1000 24000	36	WH-3
20 A	1	SPD, 100KA	37 0 24000	38	WH-4
INTEGRATED EQUIPMENT RATING	25K AIC	67.4 kVA	66.5 kVA	PANELBOARD LOAD TOTAL	133.8 kVA

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811

CONTRACTOR SHALL CONTACT 811 (1-888-721-7877) FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.

Know what's below.
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DATE: 03/09/2023

ADC PROJECT #: 21435

DESIGNED: RAB

CHECKED: PEK

DRAWN: TMP

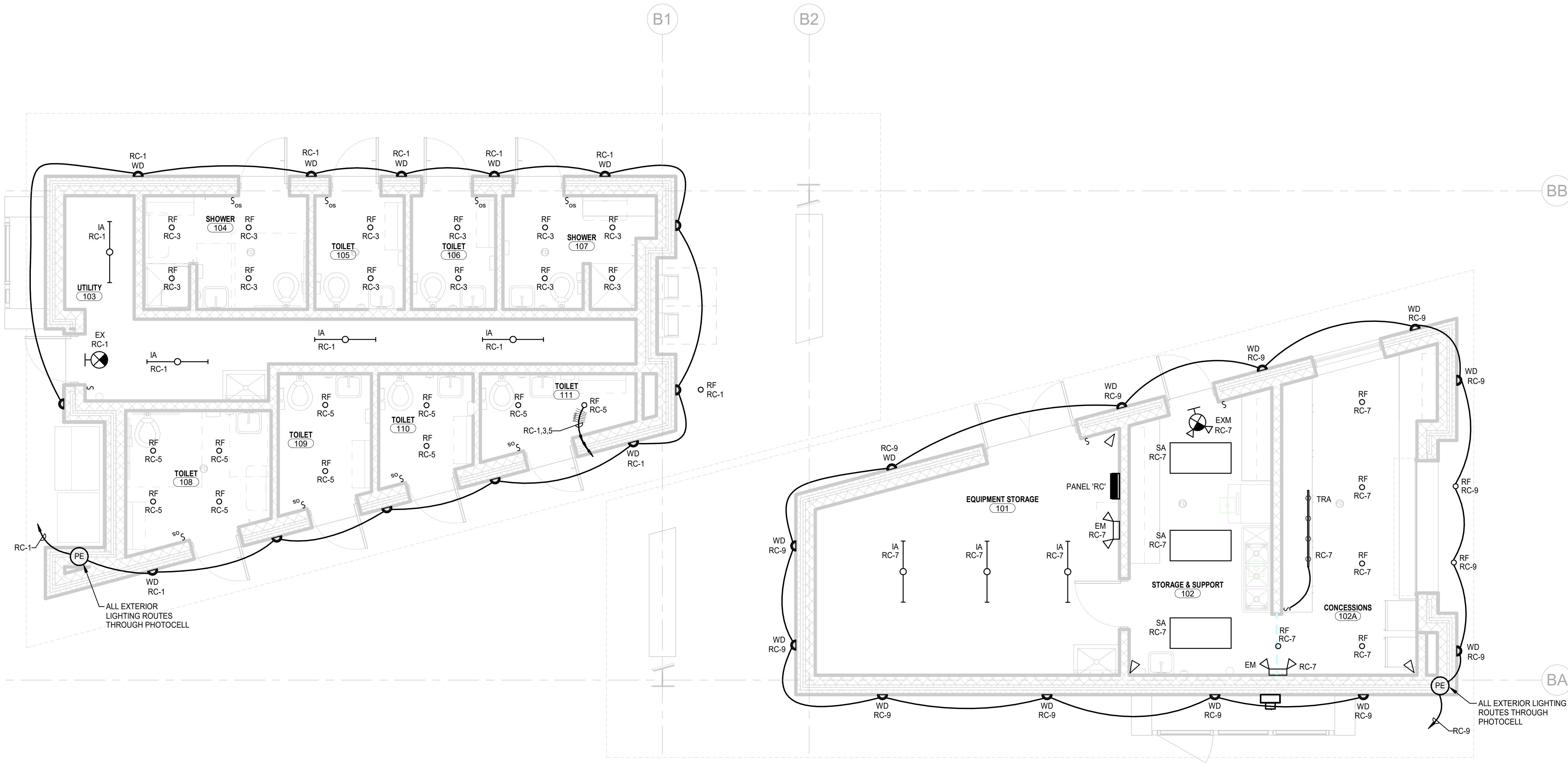
REVISION:

▲ REVISED PERMIT SET 06/06/2023

▲ REVISED PERMIT DWGS 07/14/2023

ELECTRICAL SYMBOL LEGEND

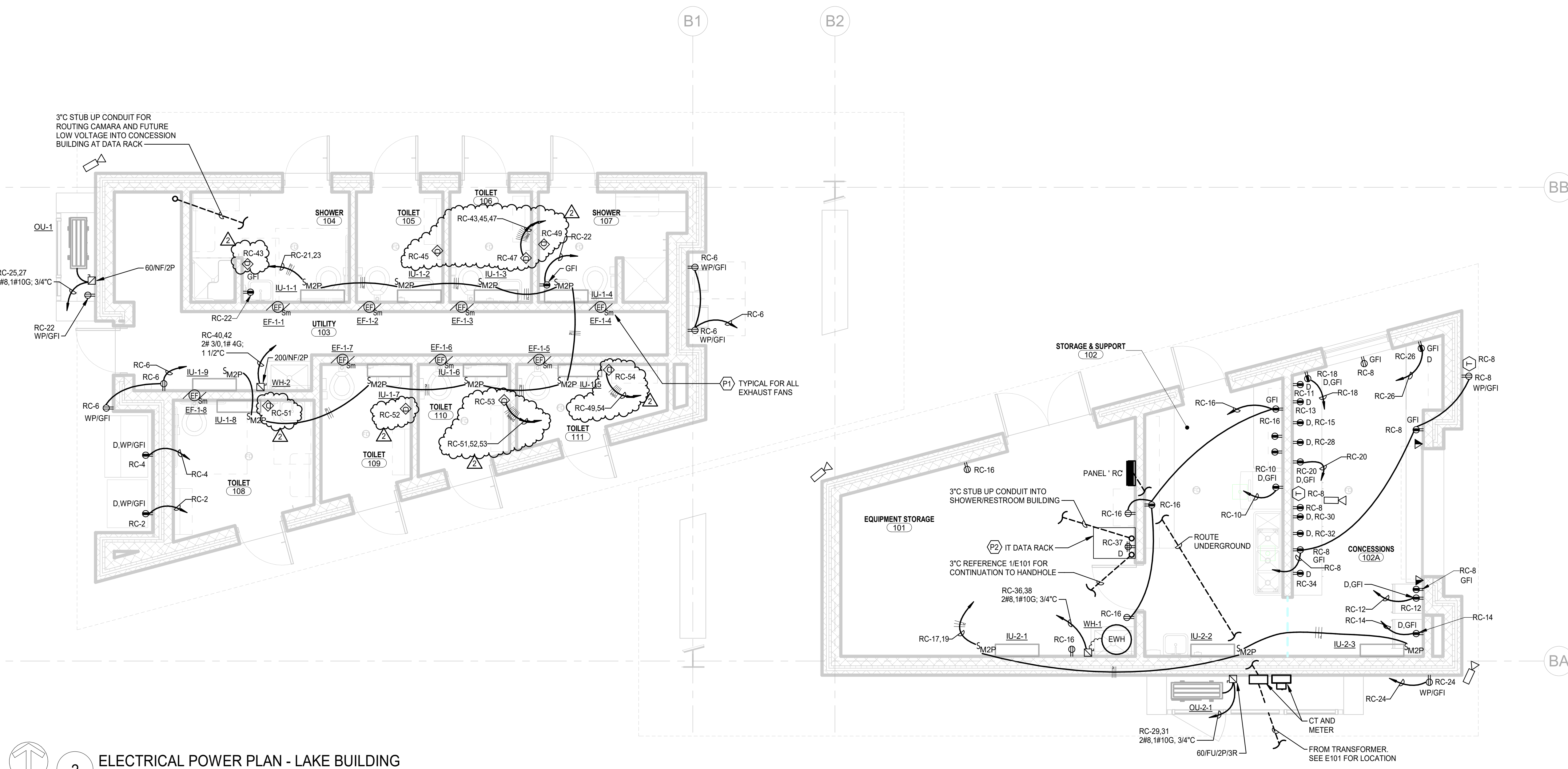
E001



1 ELECTRICAL LIGHTING PLAN - LAKE BUILDING
 1/4" = 1'-0"
 PROJECT NORTH

POWER PLAN KEYNOTES

- P1. SWITCH EXHAUST FAN WITH ROOM LIGHT SWITCH
- P2. 4x8' FIRE RESISTANT PLYWOOD MOUNT TO THE WALL AT DATA RACK LOCATION.

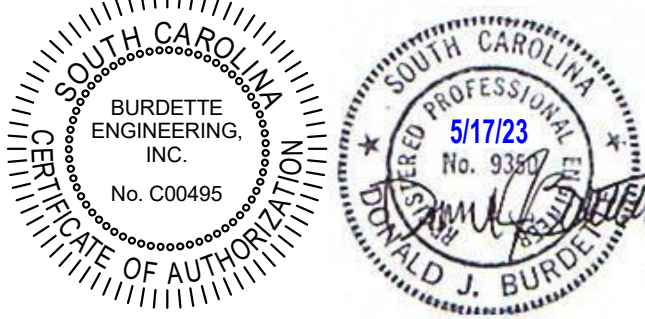


2 ELECTRICAL POWER PLAN - LAKE BUILDING
 1/4" = 1'-0"
 PROJECT NORTH

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 SOUTH CAROLINA

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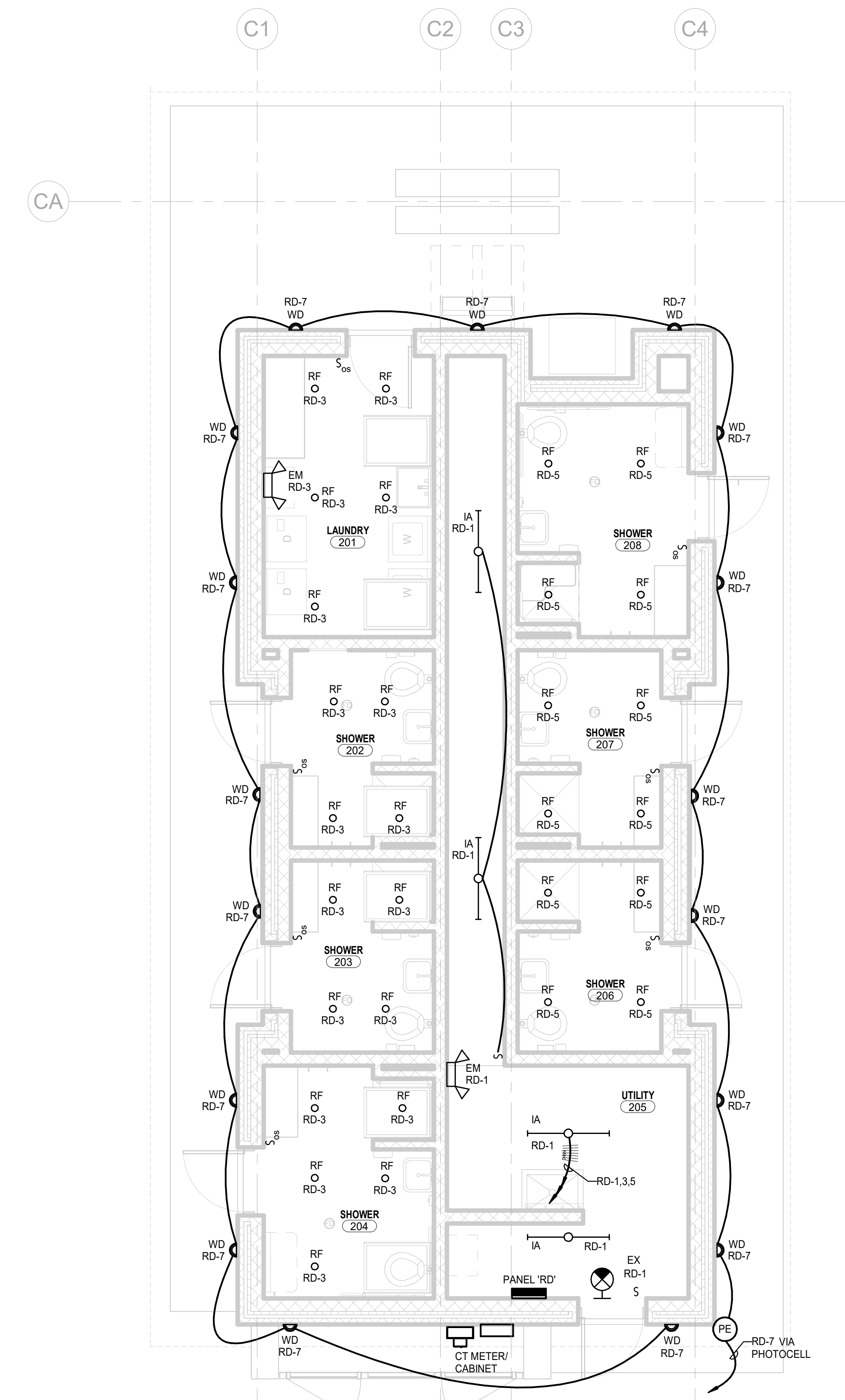
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CHECKED:	PEK
DRAWN:	TMP
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△ REVISED PERMIT DWGS	07/14/2023

ELECTRICAL LIGHTING & POWER PLAN - LAKE BUILDING

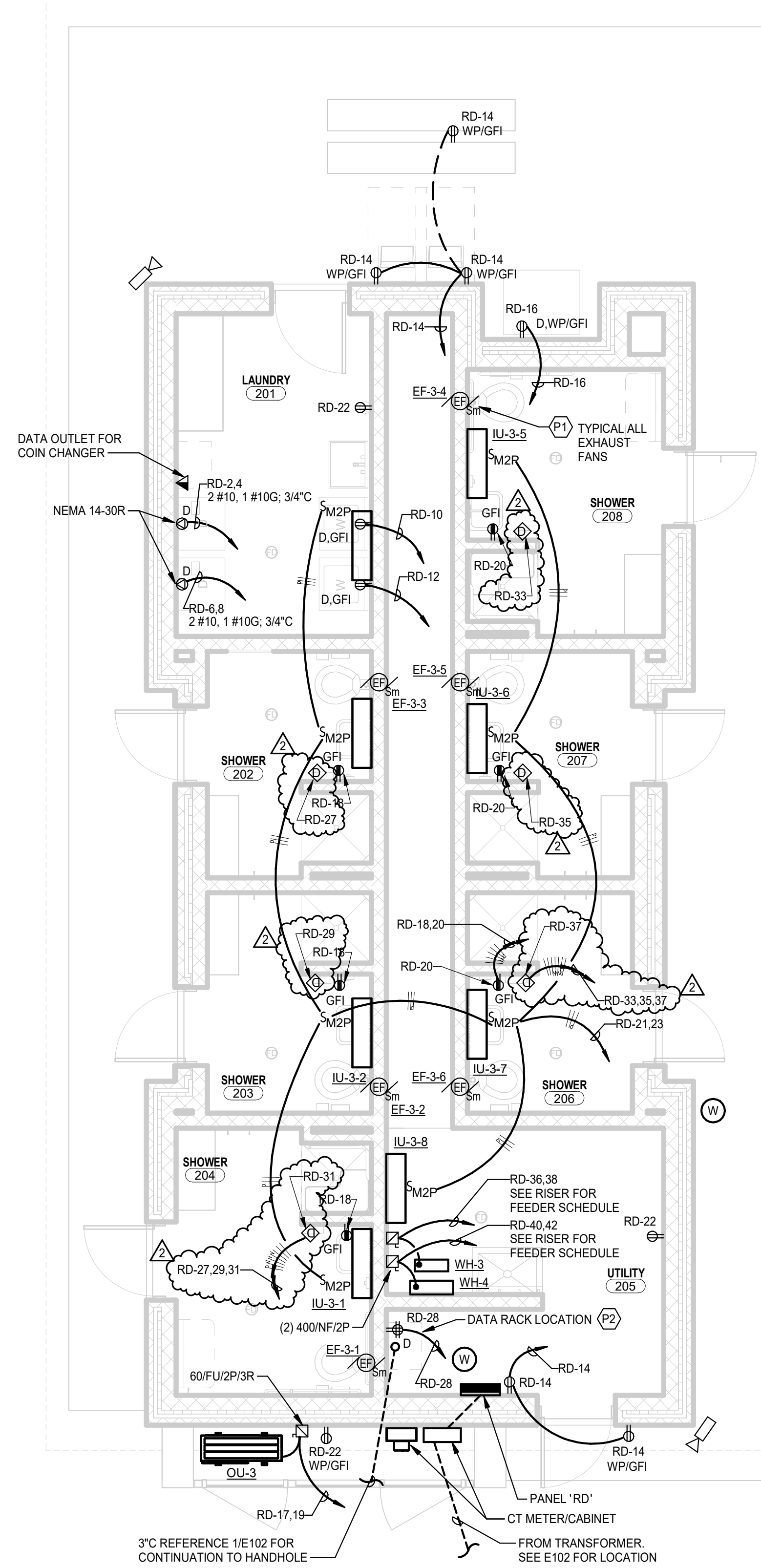
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1 ELECTRICAL LIGHTING PLAN - CAMPGROUND BUILDING
1/4" = 1'-0"



2 ELECTRICAL POWER PLAN - CAMPGROUND BUILDING
1/4" = 1'-0"

POWER PLAN KEYNOTES

- P1. SWITCH EXHAUST FAN WITH ROOM LIGHT SWITCH
- P2. 4x8' FIRE RESISTANT PLYWOOD MOUNT TO THE WALL AT DATA RACK LOCATION.

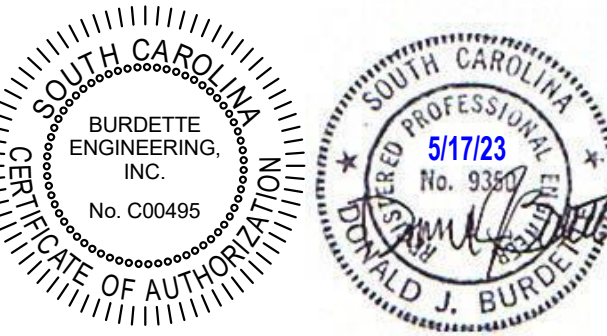
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△ REVISED PERMIT DWGS	07/14/2023

ELECTRICAL LIGHTING
& POWER PLAN -
CAMPGROUND
BUILDING

E202

PERMIT SET